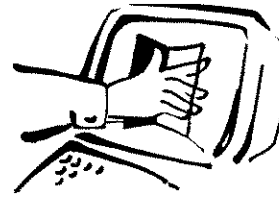


BC OnLine



BC OnLine Land Title Internet Service
Provided in co-operation with
Land Title and Survey Authority

LTSA - DOCUMENT RETRIEVAL				REF # L04221	REQUESTED: 2009-09-17 16:38
CLIENT NAME:	HANNA REALTY LTD.				
ADDRESS:	235 329 NORTH ROAD COQUITLAM BC V3K 3V8				
PICK-UP INSTRUCTIONS:					
USER ID: PA21248	PLAN # LMS921	LM Filed	RCVD:1998-02-05		
ACCOUNT: 325850					
FOLIO					
REMARKS:					

Help Desk Victoria (250) 953-8200
In B.C. 1-800-663-6102
Administration Office ... (250) 953-8250
Fax Number (250) 953-8222

Persons who need to rely on a plan for legal purposes must examine the official version at the Land Title Office in which the plan is deposited. However, plans with plan numbers beginning with the letters EPP or EPS are electronic plans which constitute the official version.

**STRATA PLAN OF
PART OF LOT 1, SECTION 29,
BLOCK 5 NORTH, RANGE 1 WEST,
NEW WESTMINSTER DISTRICT,
PLAN 85069**

MUNICIPALITY OF SURREY
B.C.G.S. 92G.011

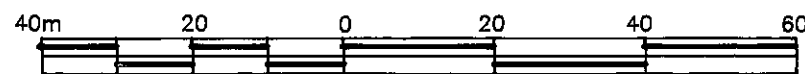
**PHASE 1
STRATA PLAN LMS 921**

DEPOSITED AND REGISTERED IN THE LAND TITLE OFFICE
AT NEW WESTMINSTER, B.C.
THIS 12th DAY OF JULY, 1993.

[Signature]
DEPUTY REGISTRAR
BG245704 - BG245868

FORM 'E'
FILING No. BG245703

S.185 - BG254904
AMENDED FORM E - BJ243299
AMENDED FORM E - BJ243300
AMENDED FORM E - BL213482
AMENDED FORM E - BM133126

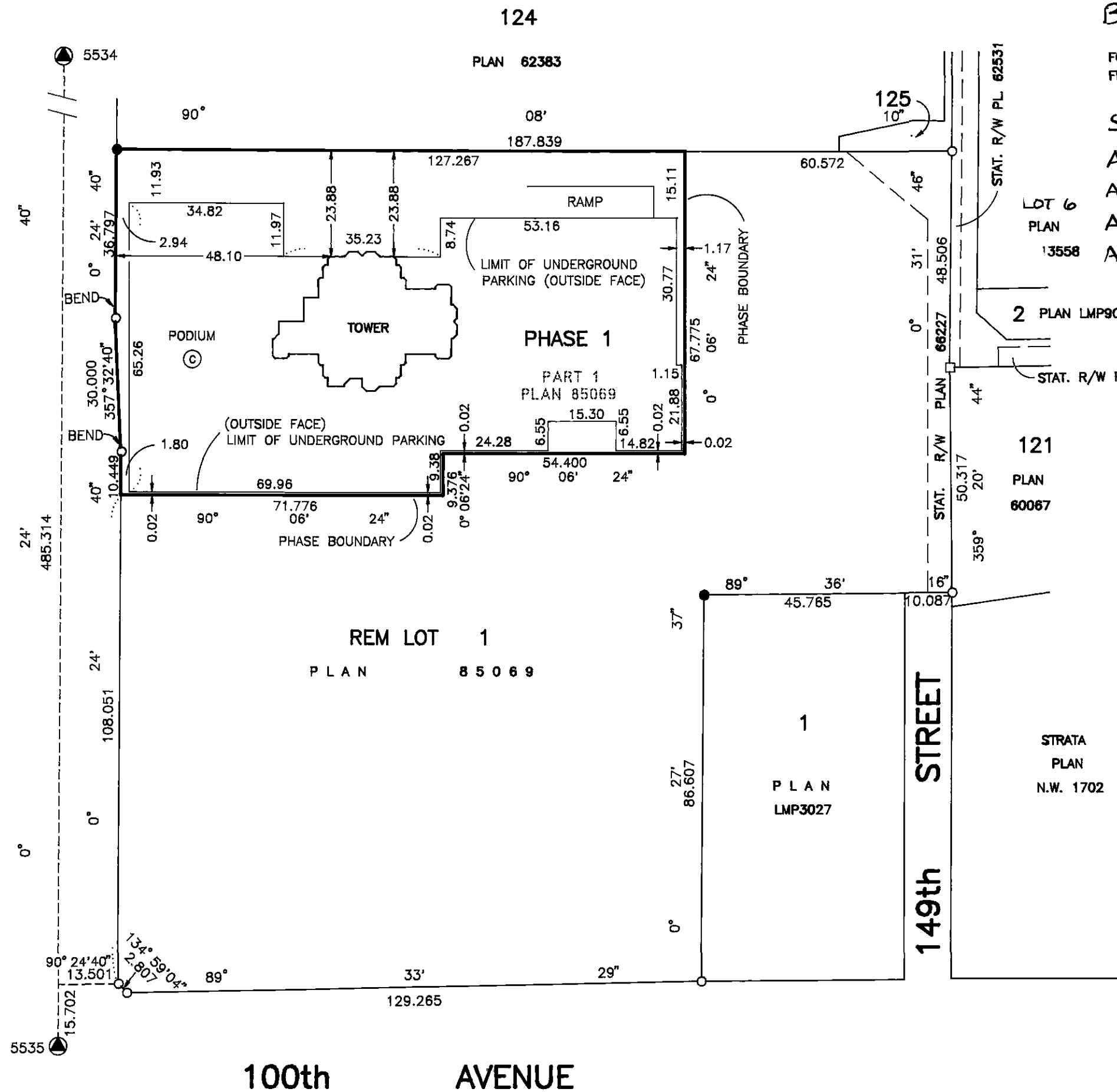


SCALE: 1:1000

"GUILDFORD PARK PLACE"

CIVIC ADDRESS:

10082 148th STREET
SURREY, B.C.



LEGEND

- 2 DENOTES SQUARE METRES
- S.L. DENOTES STRATA LOT
- L.C.P. DENOTES LIMITED COMMON PROPERTY
- PT. DENOTES PART
- (L) DENOTES LIMITED COMMON PROPERTY STRATA LOTS 1 - 165
- (C) DENOTES COMMON PROPERTY
- (E) DENOTES ELECTRICAL CLOSET
- (D) DENOTES DUCT
- (G) DENOTES GARBAGE CHUTE
- (B) DENOTES BALCONY
- (M) DENOTES CONTROL MONUMENT
- DENOTES OLD IRON POST FOUND
- DENOTES IRON POST SET
- DENOTES LEAD PLUG SET

NOTES:

- DISTANCES ARE IN METRES AND DECIMALS THEREOF.
- GRID BEARINGS ARE DERIVED FROM CONTROL MONUMENTS 5534 AND 5535
- INTEGRATED SURVEY AREA No. 1, SURREY
- THIS PLAN SHOWS GROUND LEVEL MEASURED DISTANCES. PRIOR TO COMPUTATION OF U.T.M. COORDINATES MULTIPLY BY A COMBINED FACTOR 0.9999970.
- 13th FLOOR HAS BEEN ELIMINATED FROM CONSECUTIVE FLOOR NUMBERING

THE ADDRESS FOR SERVICE OF DOCUMENTS ON THE STRATA CORPORATION IS:

THE OWNERS, STRATA PLAN LMS 921
803 - 1090 WEST PENDER STREET
VANCOUVER, B.C.
V6E 2N7

I, MARTIN H. SCHULZE, BRITISH COLUMBIA LAND SURVEYOR OF NEW WESTMINSTER, B.C., HEREBY CERTIFY THAT THE BUILDING ERECTED ON THE PARCEL DESCRIBED ABOVE LIES WHOLLY WITHIN THE EXTERNAL BOUNDARIES OF THAT PARCEL.

DATED AT NEW WESTMINSTER, BRITISH COLUMBIA
THIS 31st DAY OF MAY, 1993.

[Signature]
M. Schulze, B.C.L.S.

SCHULZE & ASSOCIATES

301 - 332 COLUMBIA STREET WEST
NEW WESTMINSTER, B.C. V3L 1A6
TEL.: (604) 522-1616 FAX: (604) 522-9520
FILE: 2588-0 DWG.: 1233 REV.: 0

PHASE 1
STRATA PLAN LMS 921

SIGNATURES

OWNER/DEVELOPER

GUILDFORD PARK ENTERPRISES LTD.
(INCORPORATION No. 348458)

Allen Lai
AUTHORIZED SIGNATORY ALLEN LAI

B.W.F. FODCHUK
AUTHORIZED SIGNATORY B.W.F. FODCHUK

Philip K. Young
WITNESS AS TO ABOVE SIGNATURES PHILIP K. YOUNG

803 1090 WEST PENROSE STREET

VANCOUVER B.C. V6E 2N7
ADDRESS OF WITNESS

Assistant Controller
OCCUPATION OF WITNESS

MORTGAGEE

HONGKONG BANK OF CANADA

D.R. Reid
AUTHORIZED SIGNATORY D.R. REID

C.S. MORDEEN
AUTHORIZED SIGNATORY C.S. MORDEEN

Wanda Pun
WITNESS AS TO ABOVE SIGNATURES WANDA PUN

885 WEST GEORGIA ST.

VANCOUVER, B.C. V6C 3G1.
ADDRESS OF WITNESS

MANAGER - CREDIT SERVICES.
OCCUPATION OF WITNESS

ACCEPTED AS TO FORMS 1 AND 2

THIS 25 DAY OF June, 1993

[Signature]
SUPERINTENDENT OF REAL ESTATE

SECTION 8 (2)

CERTIFICATE OF APPROVAL

I HEREBY CERTIFY THAT THE COMMON FACILITIES WHICH ACCORDING TO FORM 'E' OF THE ACT WERE TO HAVE BEEN CONSTRUCTED IN CONJUNCTION WITH THIS PHASE, HAVE BEEN SATISFACTORILY PROVIDED FOR.

THIS 7th DAY OF July, 1993

[Signature]
MUNICIPAL APPROVING OFFICER
DISTRICT OF SURREY

APPROVED AS TO PHASE 1 OF A 4 PHASE STRATA PLAN UNDER THE CONDOMINIUM ACT.

THIS 7th DAY OF July, 1993

[Signature]
MUNICIPAL APPROVING OFFICER
DISTRICT OF SURREY

STATUTORY DECLARATION

I, THE UNDERSIGNED DO SOLEMNLY DECLARE THAT
1) I, THE UNDERSIGNED AM THE DULY AUTHORIZED AGENT OF THE OWNER/DEVELOPER.
2) THE STRATA PLAN IS ENTIRELY FOR RESIDENTIAL USE.
I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

B.W. FODCHUK
B.W. FODCHUK

DECLARED BEFORE ME AT
IN THE PROVINCE OF BRITISH COLUMBIA
THIS 28 DAY OF June, 1993

M. Kaler
A COMMISSIONER FOR TAKING AFFIDAVITS
WITHIN THE PROVINCE OF BRITISH COLUMBIA
M. Kaler.

PHASE 1
STRATA PLAN LMS 921

CONDOMINIUM ACT

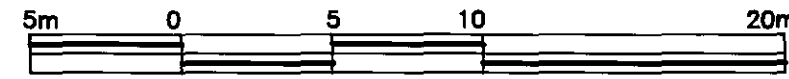
LOT No.	SUITE No.	SHEET No.	FORM 1	FORM 2	FORM 3
			SCHEDULE OF UNIT ENTITLEMENT	SCHEDULE OF INTEREST UPON DESTRUCTION	SCHEDULE OF VOTING RIGHTS
			UNIT ENTITLEMENT	INTEREST UPON DESTRUCTION	NUMBER OF VOTES
1	104	5,8	889	1345	1
2	105	5,8	889	1365	1
3	106	5,8	1149	1585	1
4	107	4,8	1149	1449	1
5	108	4,8	905	1289	1
6	201	4,9	905	1335	1
7	202	4,9	1150	1509	1
8	203	5,9	1157	1575	1
9	204	5,9	889	1395	1
10	205	5,9	889	1395	1
11	206	5,9	1149	1595	1
12	207	4,9	1149	1479	1
13	208	4,9	905	1299	1
14	301	4,10	905	1365	1
15	302	4,10	1150	1549	1
16	303	5,10	1157	1615	1
17	304	5,10	889	1425	1
18	305	5,10	889	1425	1
19	306	5,10	1149	1615	1
20	307	4,10	1149	1499	1
21	308	4,10	905	1329	1
22	401	4,11	905	1379	1
23	402	4,11	1150	1565	1
24	403	5,11	1157	1635	1
25	404	5,11	889	1439	1
26	405	5,11	889	1439	1
27	406	5,11	1149	1635	1
28	407	4,11	1149	1519	1
29	408	4,11	905	1339	1
30	501	4,12	905	1395	1
31	502	4,12	1150	1585	1
32	503	5,12	1157	1655	1
33	504	5,12	889	1449	1
34	505	5,12	889	1449	1
35	506	5,12	1149	1655	1
36	507	4,12	1149	1539	1
37	508	4,12	905	1355	1
38	601	4,13	905	1409	1
39	602	4,13	1150	1605	1
40	603	5,13	1157	1689	1
41	604	5,13	889	1465	1
42	605	5,13	889	1465	1
43	606	5,13	1149	1689	1
44	607	4,13	1149	1555	1
45	608	4,13	905	1389	1
46	701	4,14	905	1425	1
47	702	4,14	1150	1625	1
48	703	5,14	1157	1689	1
49	704	5,14	889	1479	1
50	705	5,14	889	1479	1
51	706	5,14	1149	1689	1
52	707	4,14	1149	1575	1
53	708	4,14	905	1365	1
54	801	4,15	905	1439	1
55	802	4,15	1150	1645	1
56	803	5,15	1157	1709	1

LOT No.	SUITE No.	SHEET No.	FORM 1	FORM 2	FORM 3
			SCHEDULE OF UNIT ENTITLEMENT	SCHEDULE OF INTEREST UPON DESTRUCTION	SCHEDULE OF VOTING RIGHTS
			UNIT ENTITLEMENT	INTEREST UPON DESTRUCTION	NUMBER OF VOTES
57	804	5,15	889	1495	1
58	805	5,15	889	1495	1
59	806	5,15	1149	1709	1
60	807	4,15	1149	1595	1
61	808	4,15	905	1399	1
62	901	4,16	905	1449	1
63	902	4,16	1150	1665	1
64	903	5,16	1157	1729	1
65	904	5,16	889	1509	1
66	905	5,16	889	1509	1
67	906	5,16	1149	1729	1
68	907	4,16	1149	1615	1
69	908	4,16	905	1415	1
70	1001	4,17	905	1485	1
71	1002	4,17	1150	1679	1
72	1003	5,17	1157	1749	1
73	1004	5,17	889	1525	1
74	1005	5,17	889	1525	1
75	1006	5,17	1149	1749	1
76	1007	4,17	1149	1635	1
77	1008	4,17	905	1429	1
78	1101	4,18	905	1479	1
79	1102	4,18	1150	1699	1
80	1103	5,18	1157	1789	1
81	1104	5,18	889	1539	1
82	1105	5,18	889	1539	1
83	1106	5,18	1149	1789	1
84	1107	4,18	1149	1655	1
85	1108	4,18	905	1439	1
86	1201	4,19	905	1499	1
87	1202	4,19	1149	1725	1
88	1203	5,19	1149	1789	1
89	1204	5,19	889	1555	1
90	1205	5,19	889	1555	1
91	1206	5,19	1149	1789	1
92	1207	4,19	1149	1675	1
93	1208	4,19	905	1459	1
94	1401	4,20	905	1519	1
95	1402	4,20	1149	1749	1
96	1403	5,20	1149	1815	1
97	1404	5,20	889	1575	1
98	1405	5,20	889	1575	1
99	1406	5,20	1149	1815	1
100	1407	4,20	1150	1699	1
101	1408	4,20	905	1479	1
102	1501	4,21	905	1539	1
103	1502	4,21	1149	1775	1
104	1503	5,21	1149	1839	1
105	1504	5,21	889	1595	1
106	1505	5,21	889	1595	1
107	1506	5,21	1150	1839	1
108	1507	4,21	1150	1725	1
109	1508	4,21	905	1499	1
110	1601	4,22	905	1555	1
111	1602	4,22	1149	1795	1
112	1603	5,22	1149	1865	1

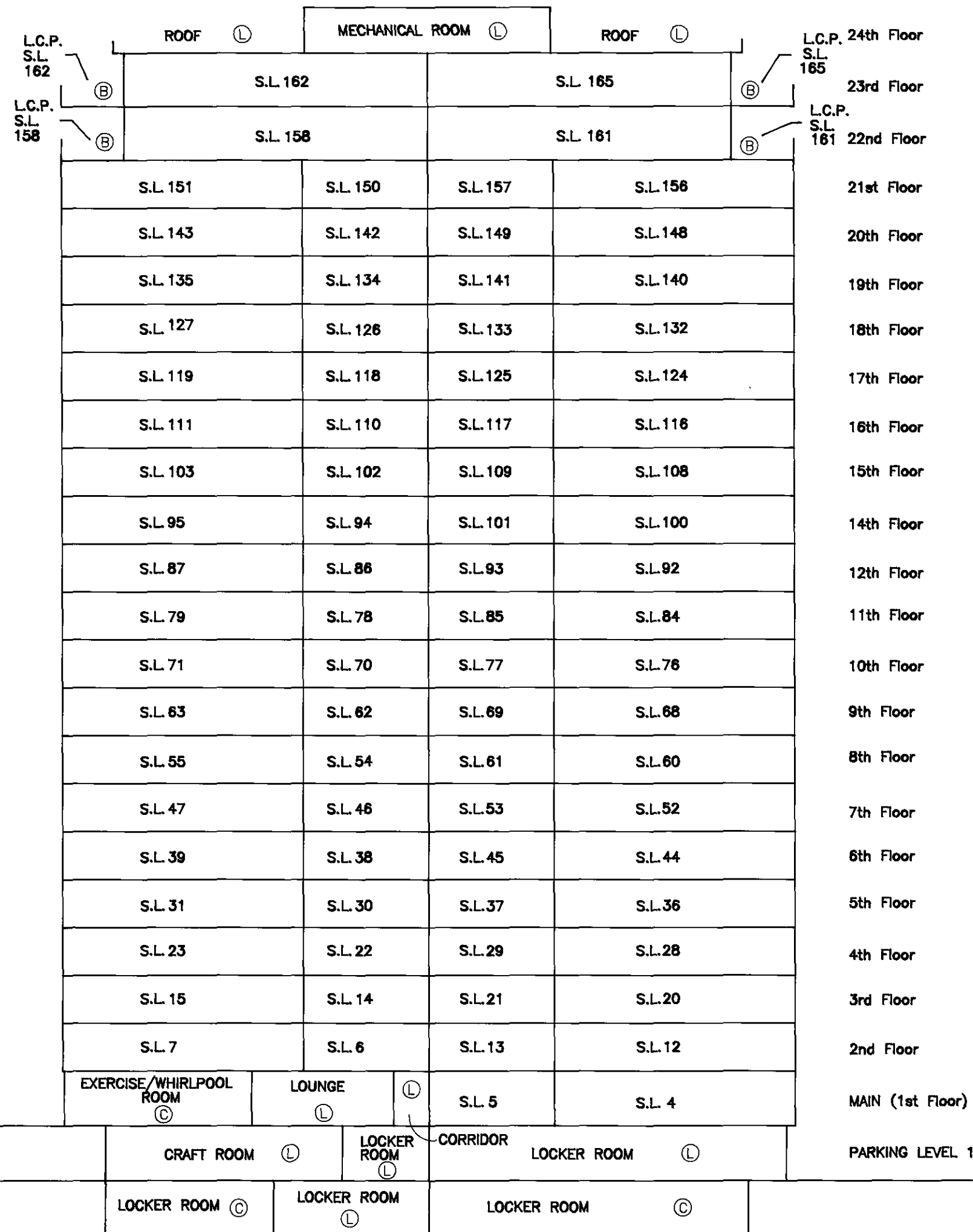
LOT No.	SUITE No.	SHEET No.	FORM 1	FORM 2	FORM 3
			SCHEDULE OF UNIT ENTITLEMENT	SCHEDULE OF INTEREST UPON DESTRUCTION	SCHEDULE OF VOTING RIGHTS
			UNIT ENTITLEMENT	INTEREST UPON DESTRUCTION	NUMBER OF VOTES
113	1604	5,22	889	1615	1
114	1605	5,22	889	1615	1
115	1606	5,22	1150	1865	1
116	1607	4,22	1150	1749	1
117	1608	4,22	905	1519	1
118	1701	4,23	905	1575	1
119	1702	4,23	1149	1819	1
120	1703	5,23	1149	1885	1
121	1704	5,23	889	1635	1
122	1705	5,23	889	1635	1
123	1706	5,23	1150	1885	1
124	1707	4,23	1150	1775	1
125	1708	4,23	905	1539	1
126	1801	4,24	905	1595	1
127	1802	4,24	1149	1845	1
128	1803	5,24	1149	1909	1
129	1804	5,24	889	1655	1
130	1805	5,24	889	1655	1
131	1806	5,24	1150	1909	1
132	1807	4,24	1150	1795	1
133	1808	4,24	905	1555	1
134	1901	4,25	905	1615	1
135	1902	4,25	1149	1869	1
136	1903	5,25	1149	1935	1
137	1904	5,25	889	1669	1
138	1905	5,25	889	1669	1
139	1906	5,25	1150	1935	1
140	1907	4,25	1150	1819	1
141	1908	4,25	905	1575	1
142	2001	4,26	905	1635	1
143	2002	4,26	1149	1889	1
144	2003	5,26	1149	1959	1
145	2004	5,26	889	1689	1
146	2005	5,26	889	1689	1
147	2006	5,26	1150	1959	1
148	2007	4,26	1150	1845	1
149	2008	4,26	905	1595	1
150	2101	4,27	905	1655	1
151	2102	4,27	1149	1915	1
152	2103	5,27	1149	1985	1
153	2104	5,27	889	1709	1
154	2105	5,27	889	1709	1
155	2106	5,27	1150	1985	1
156	2107	4,27	1150	1869	1
157	2108	4,27	905	1615	1
158	2201	4,28	1734	2775	1
159	2202	5,28	1717	2869	1
160	2203	5,28	1717	2869	1
161	2204	4,28	1734	2775	1
162	2301	4,29	1734	2869	1
163	2302	5,29	1717	2965	1
164	2303	5,29	1717	2965	1
165	2304	4,29	1734	2869	1
AGGREGATE			174,386	276,397	165

PHASE I
STRATA PLAN LMS 921

SECTION A-A



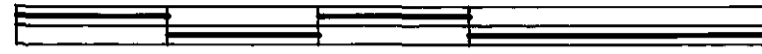
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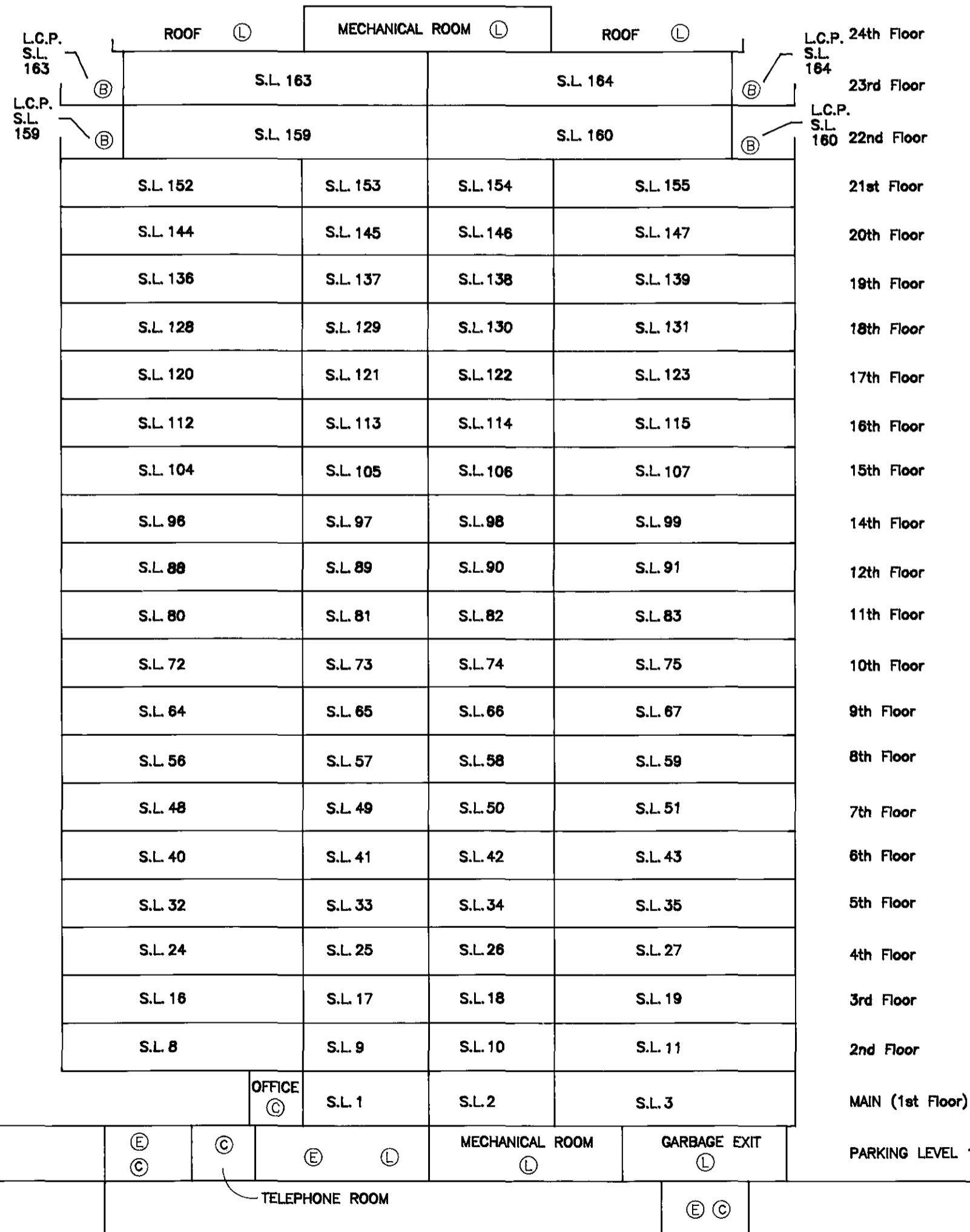
MJB.
31 MAY 1993
FILE: 2588-0
DWG: 1233 REV: 0

PHASE I
STRATA PLAN LMS 921

SECTION B-B

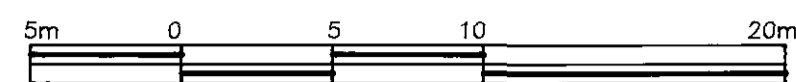


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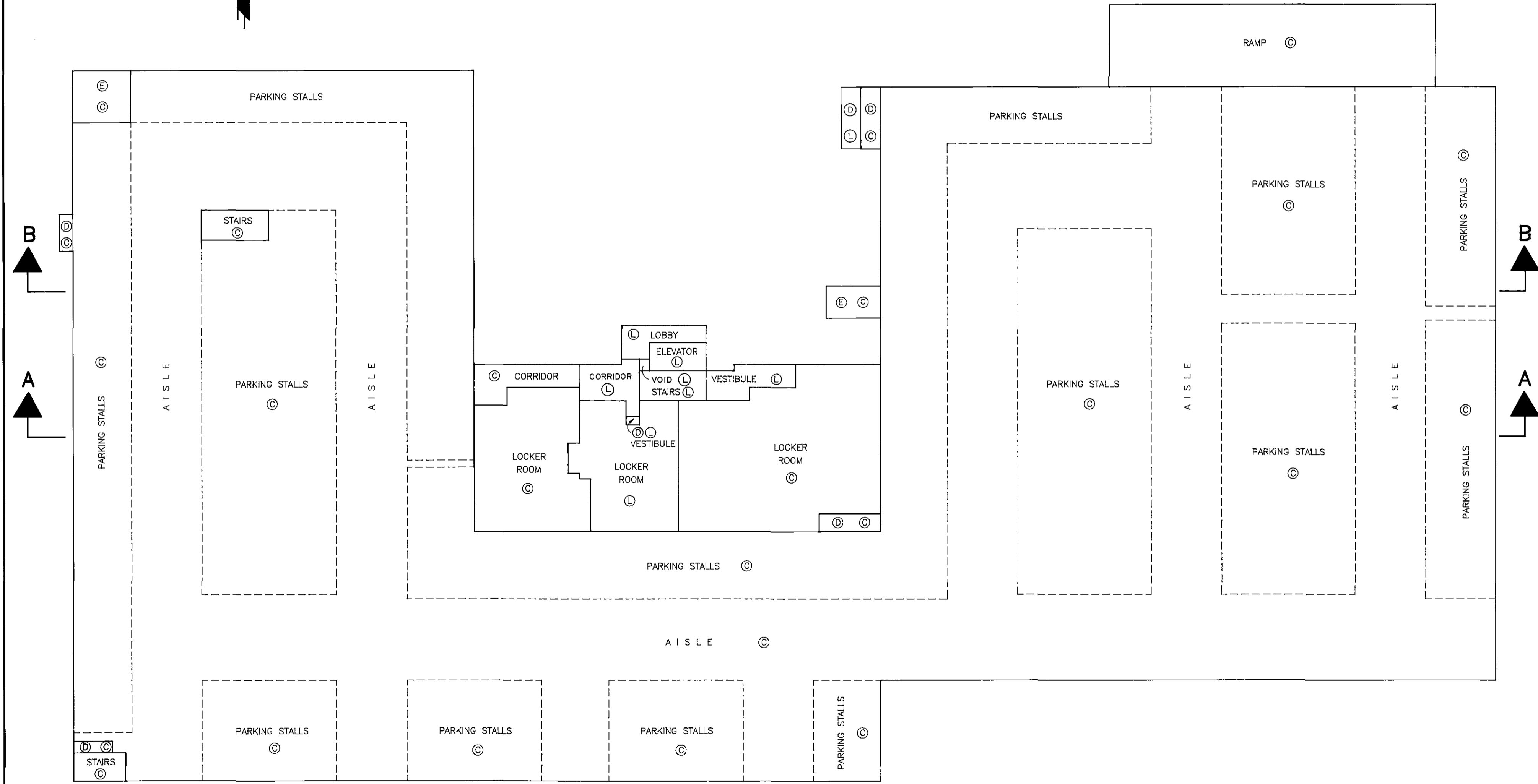


PHASE I
STRATA PLAN LMS 921

PARKING LEVEL P2

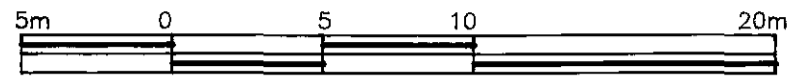


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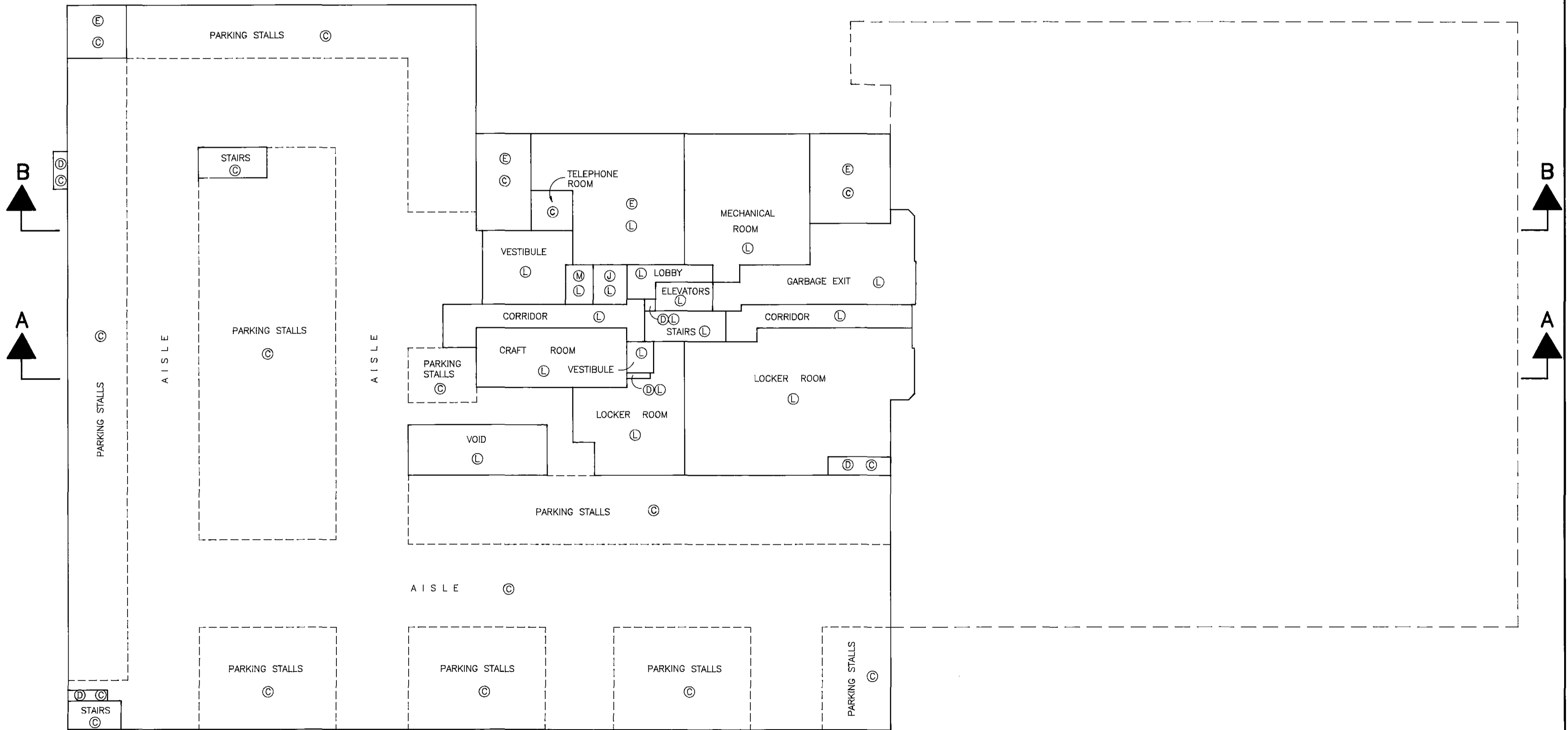


PHASE I
STRATA PLAN LMS 921

PARKING LEVEL P1



SCALE: 1 : 250



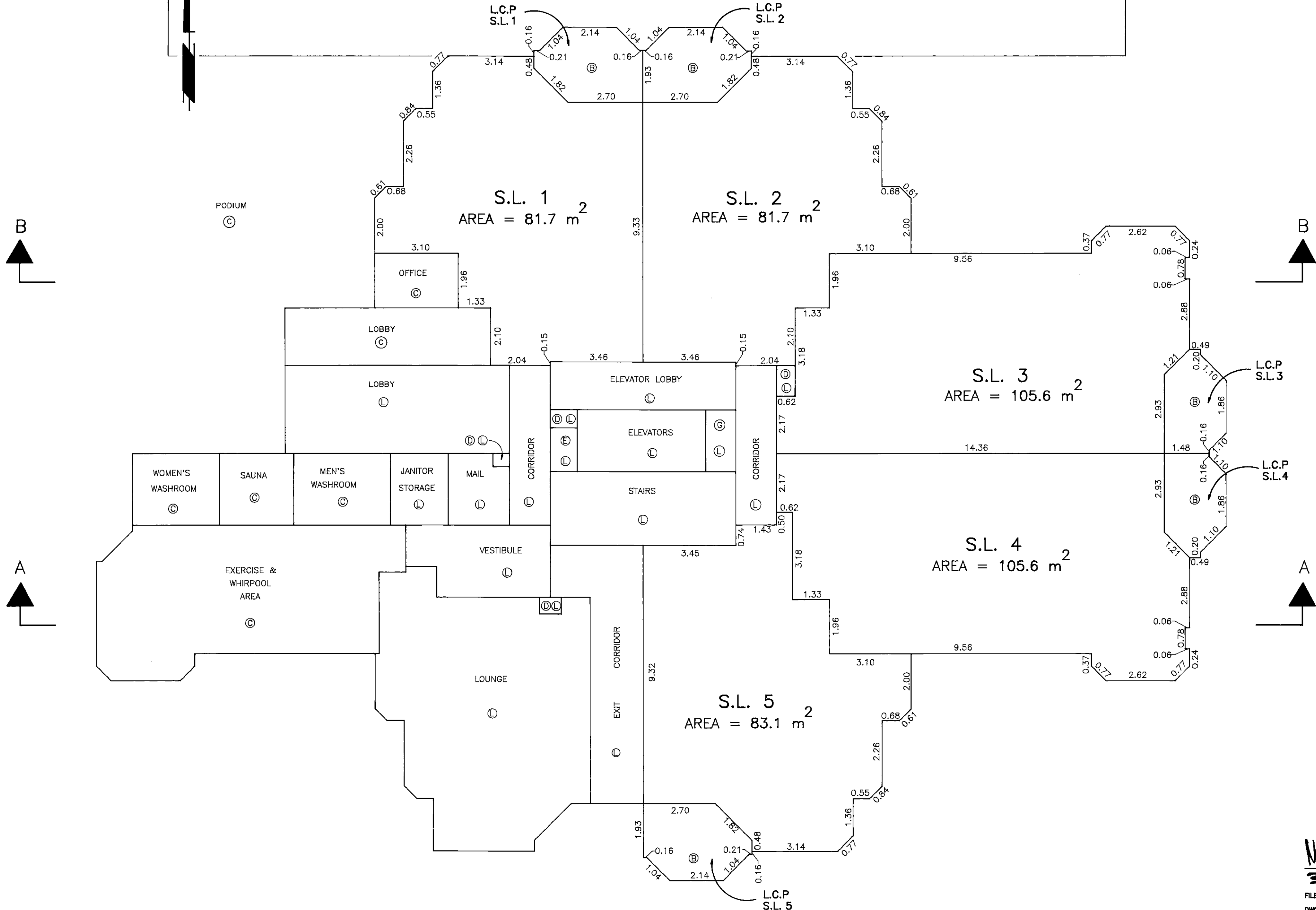
NLS
B.C.L.S.
31 MAY 1993
FILE: 2588-0
DWG: 1233 REV: 0

PHASE 1
STRATA PLAN LMS 921

MAIN FLOOR



SCALE: 1 : 100

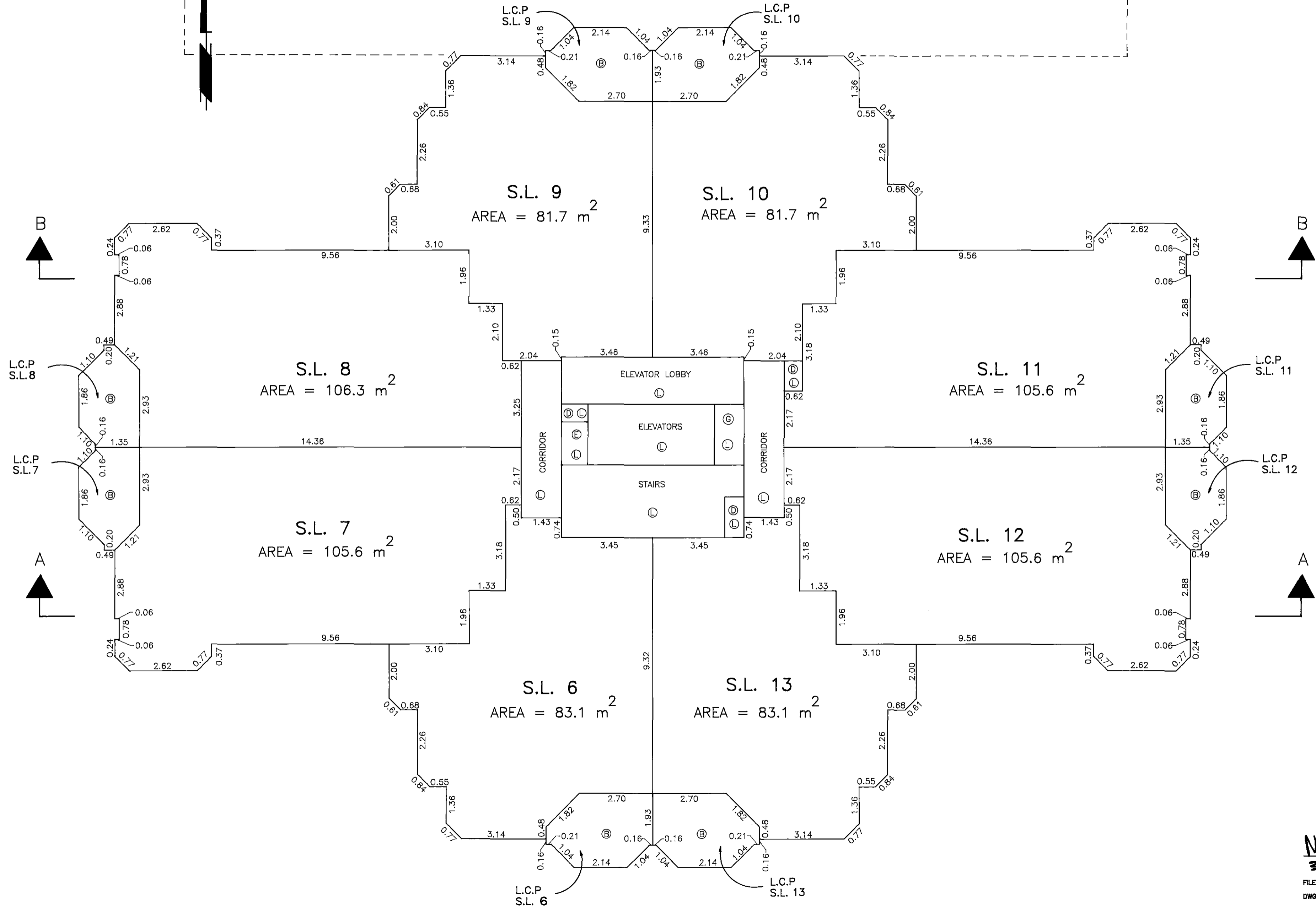


PHASE 1
STRATA PLAN LMS 921

SECOND FLOOR



SCALE: 1 : 100

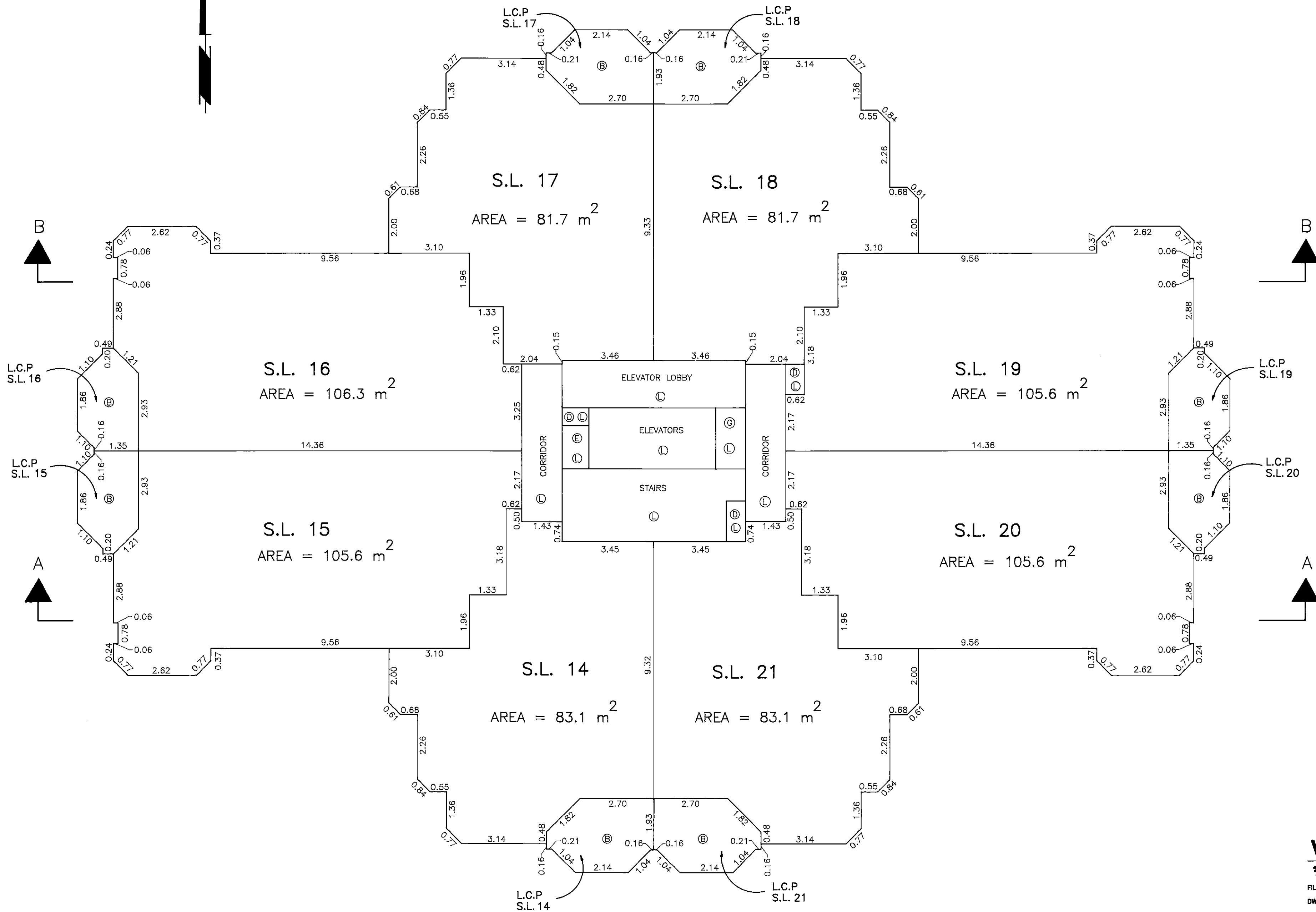


PHASE 1
STRATA PLAN LMS 921

THIRD FLOOR



SCALE: 1 : 100

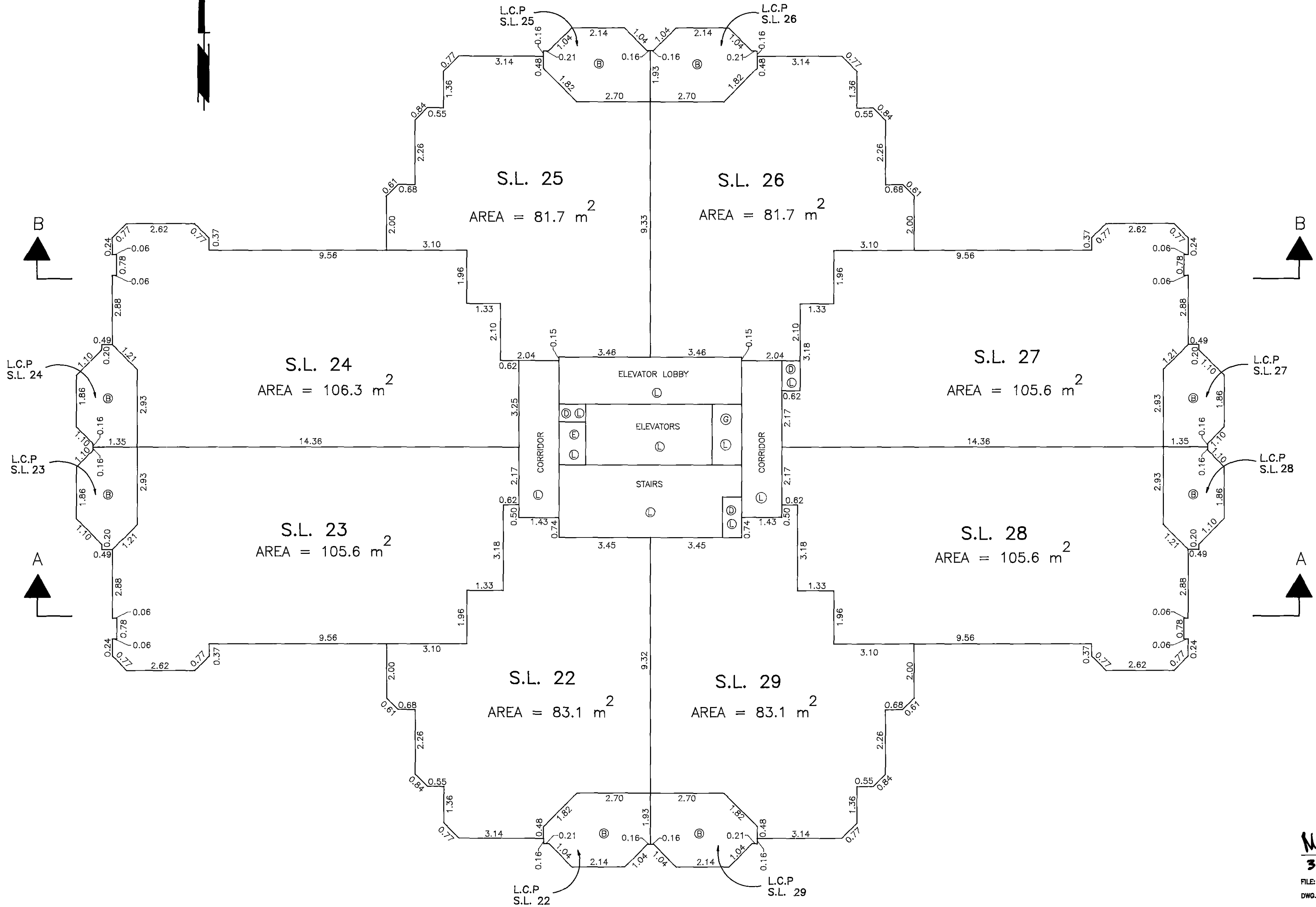


PHASE 1
STRATA PLAN LMS 921

FOURTH FLOOR



SCALE: 1 : 100

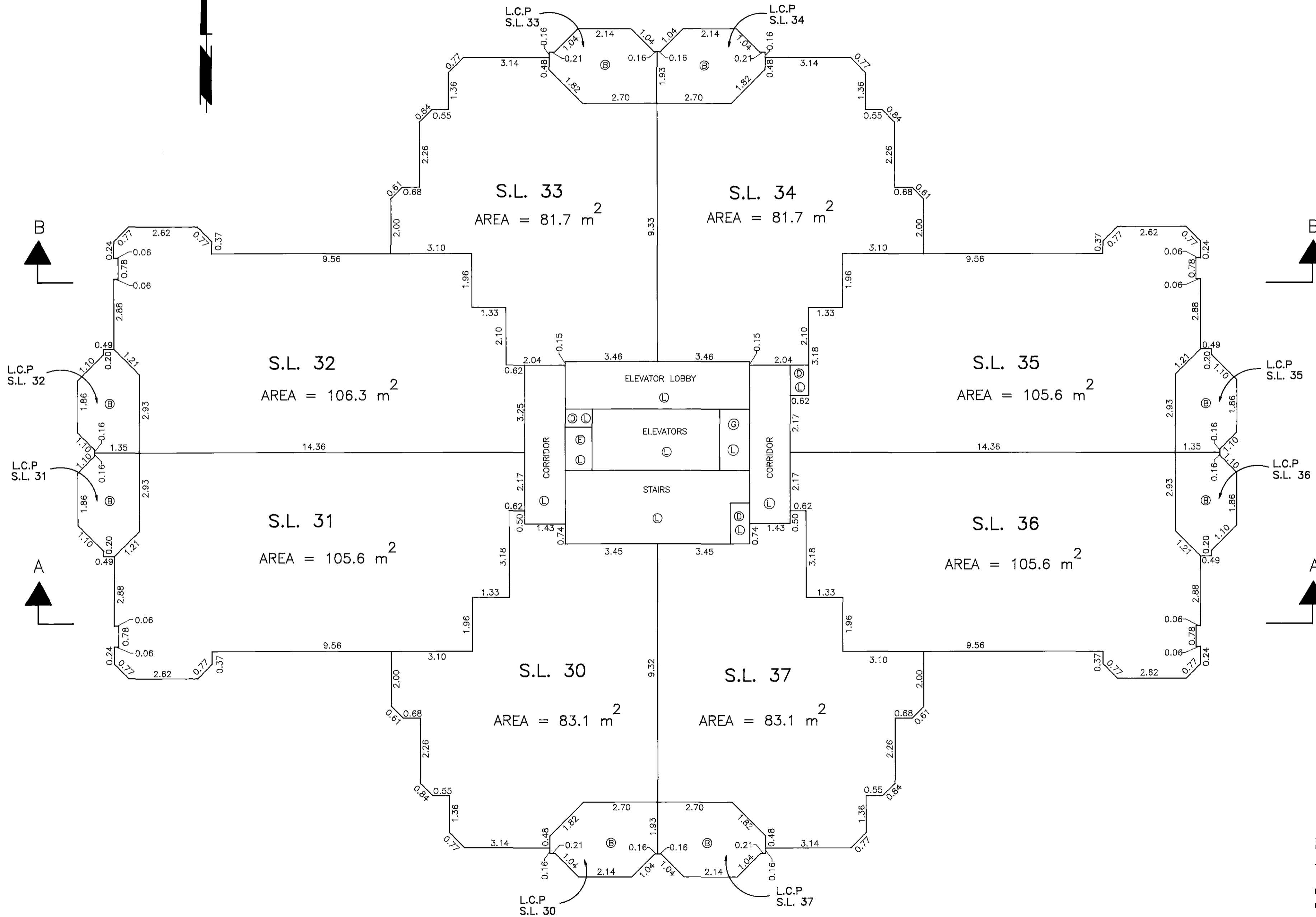


PHASE 1
STRATA PLAN LMS 921

FIFTH FLOOR



SCALE: 1 : 100



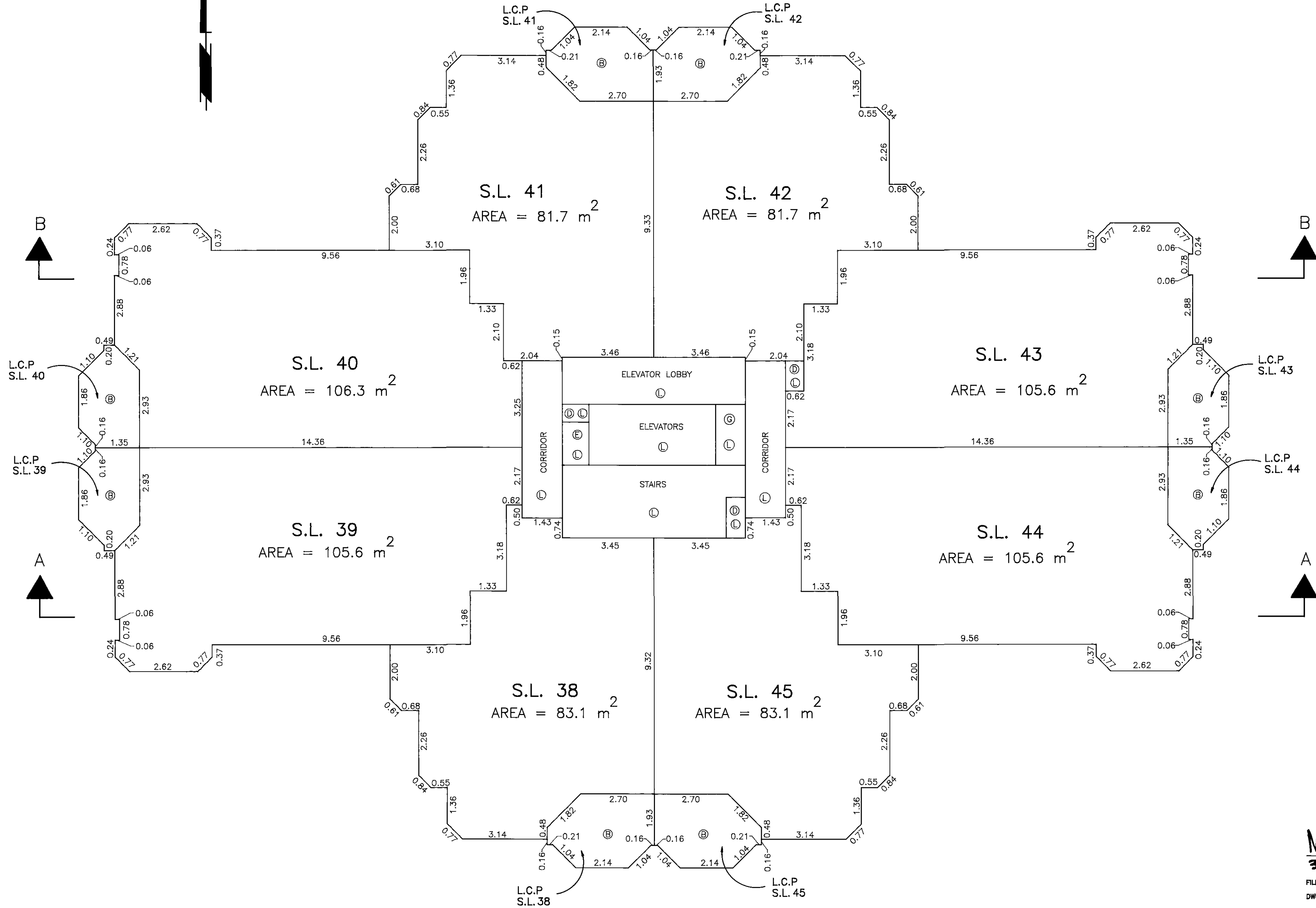
MAS
 B.C.L.S.
 31 MAY 1993
 FILE: 2588-0
 DWG.: 1233 REV.: 0

PHASE 1 STRATA PLAN LMS 921

SIXTH FLOOR



SCALE: 1 : 100



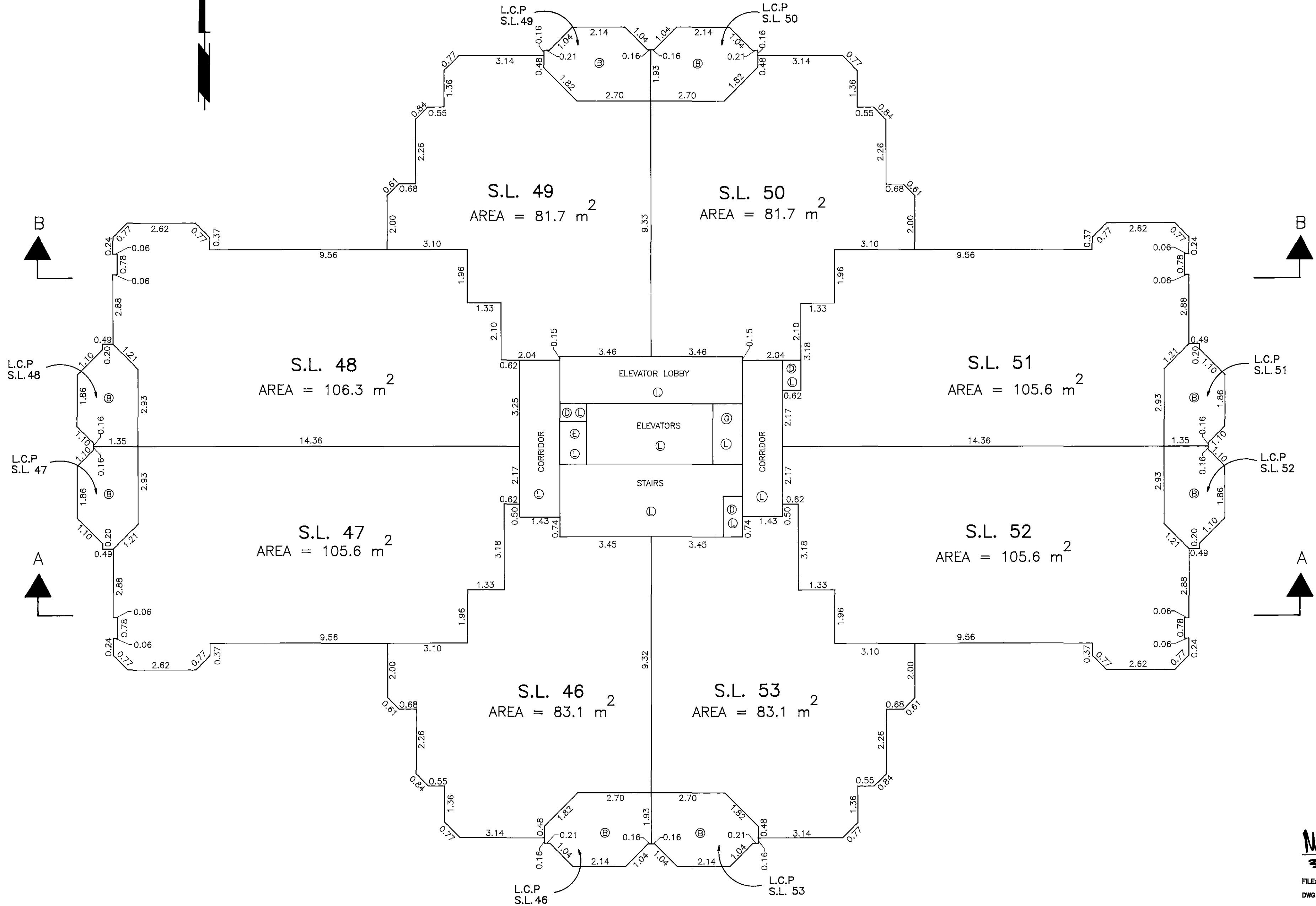
MJS
B.C.L.S.
31 MAY 1993
FILE: 2588-0
DWG.: 1233 REV.: 0

PHASE 1
STRATA PLAN LMS 921

SEVENTH FLOOR



SCALE: 1 : 100

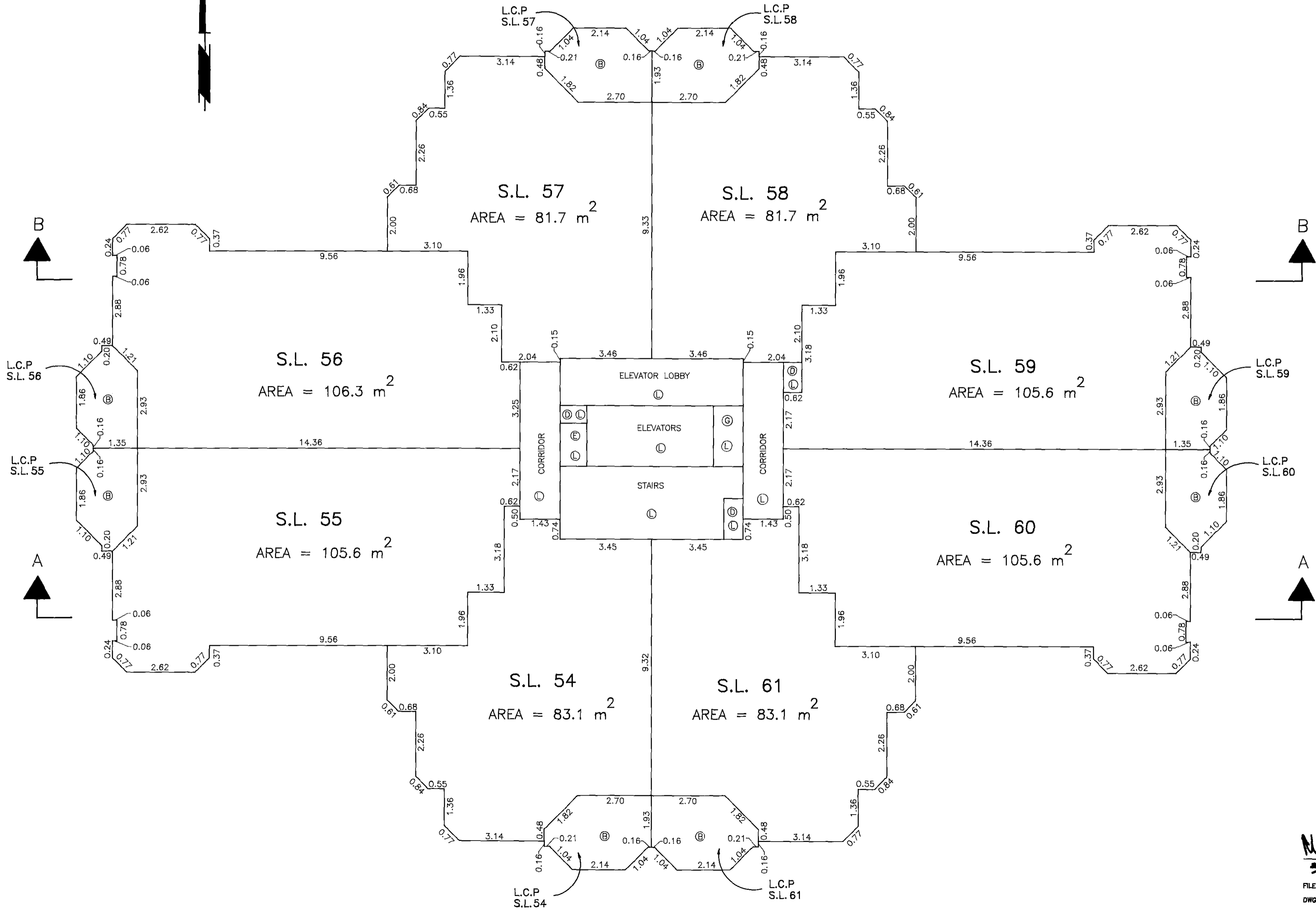


PHASE 1
STRATA PLAN LMS 921

EIGHTH FLOOR

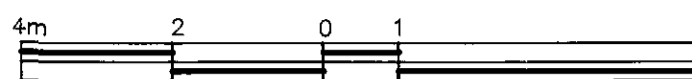


SCALE: 1 : 100

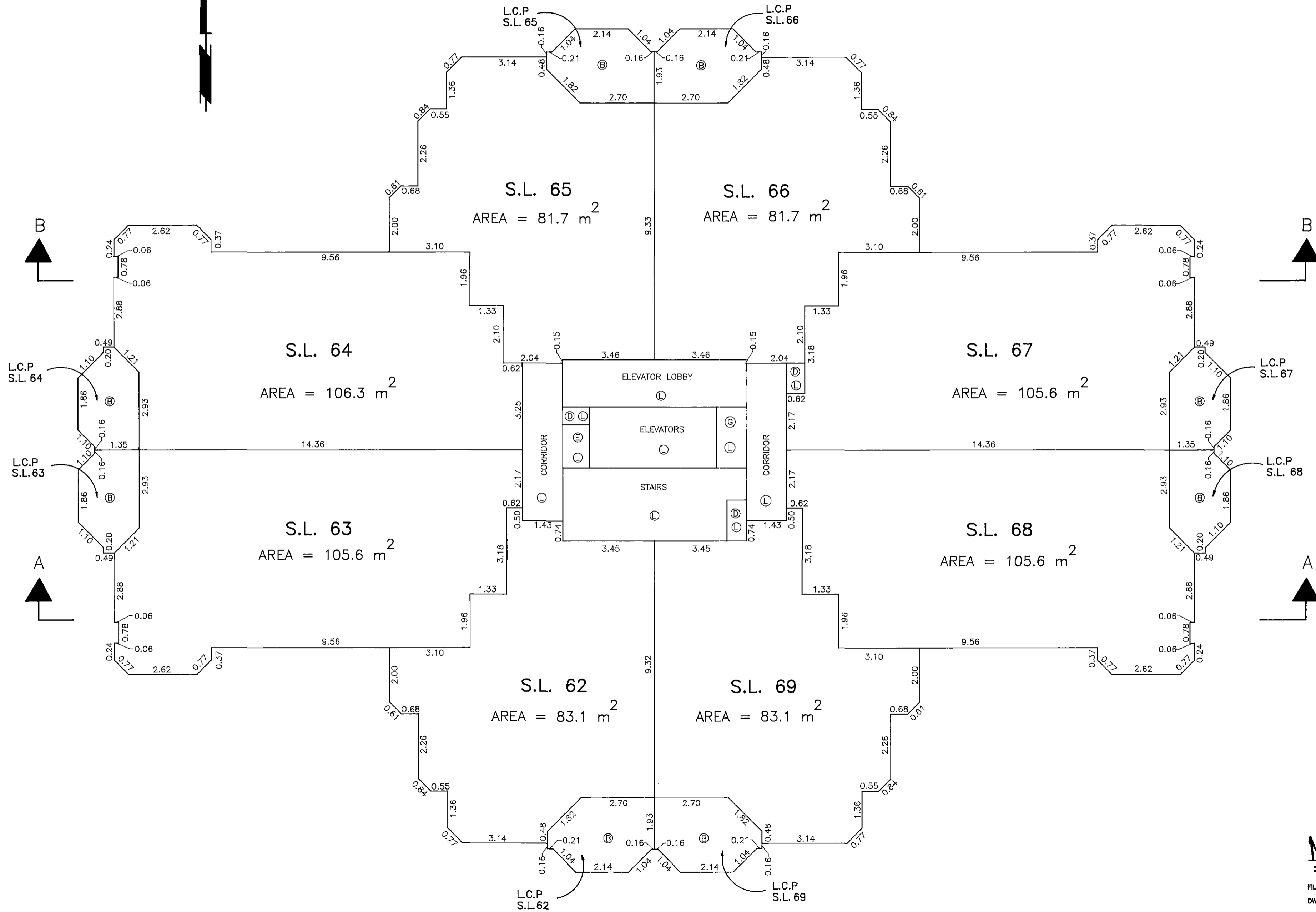


PHASE 1
STRATA PLAN LMS 921

NINTH FLOOR



SCALE: 1 : 100



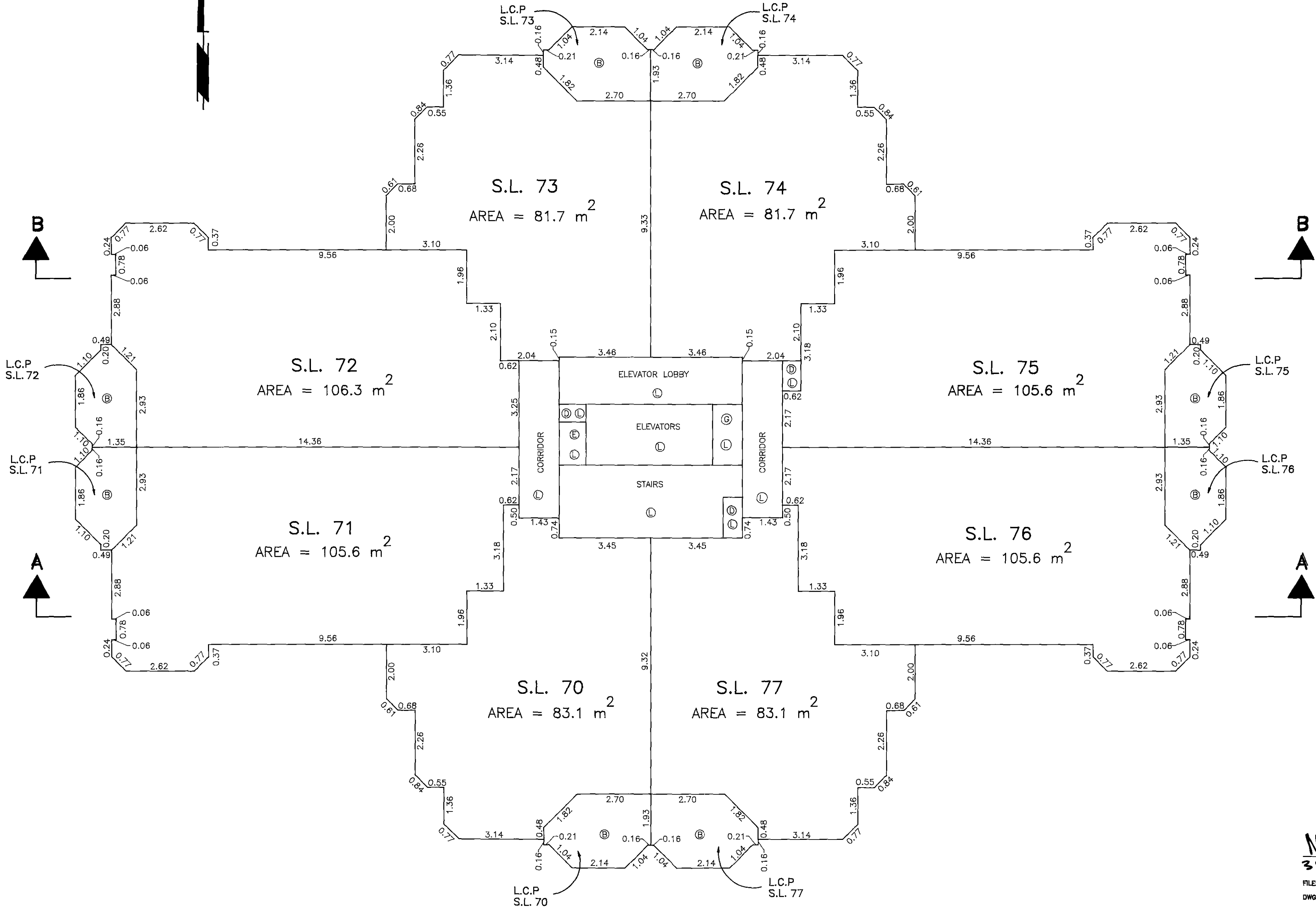
M.S.
 B.C.L.S.
 31 MAY 1993
 FILE: 2588-0
 DWG.: 1233 REV.: 0

PHASE 1
STRATA PLAN LMS 921

TENTH FLOOR



SCALE: 1 : 100

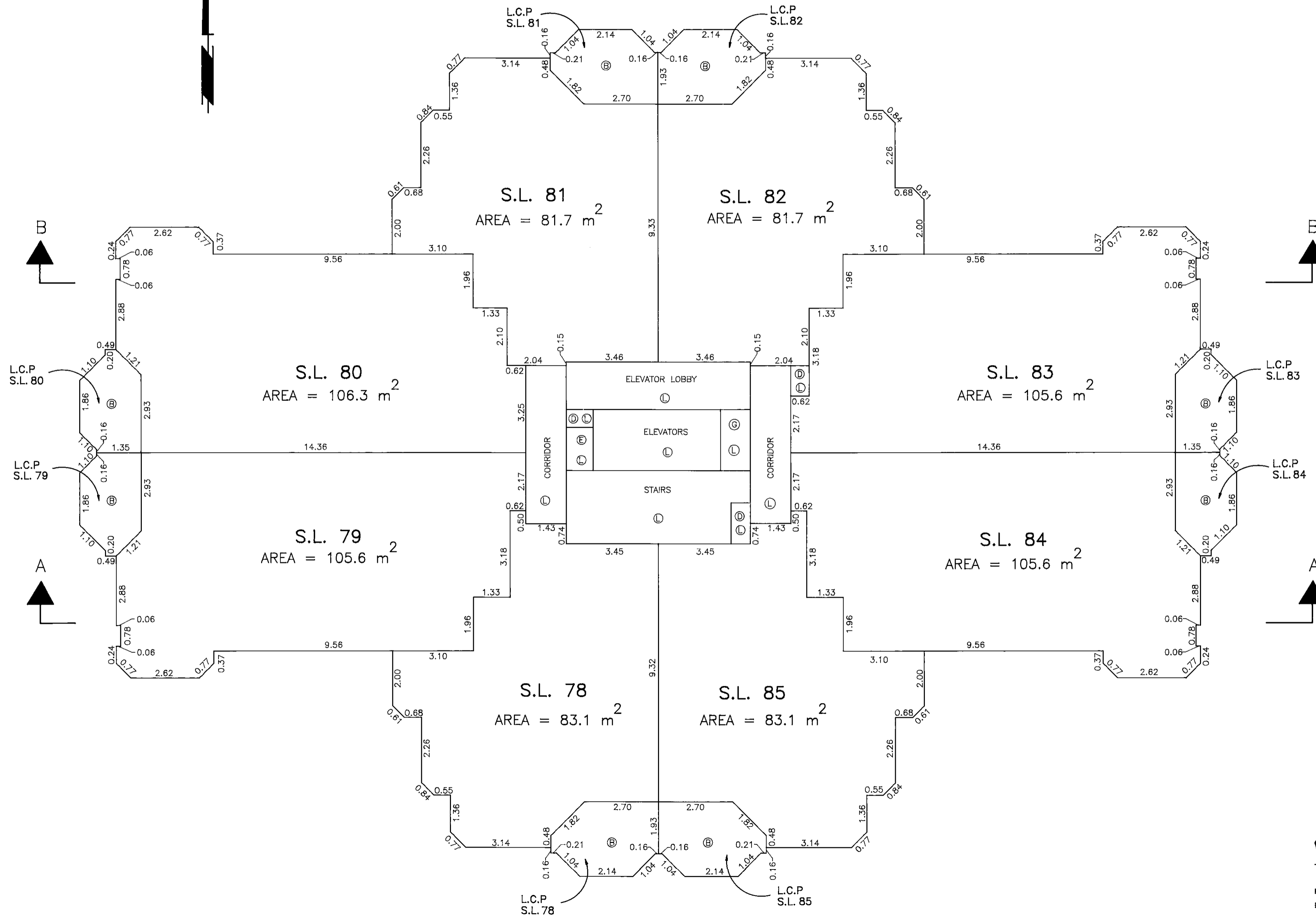


PHASE 1
STRATA PLAN LMS 921

ELEVENTH FLOOR



SCALE: 1 : 100

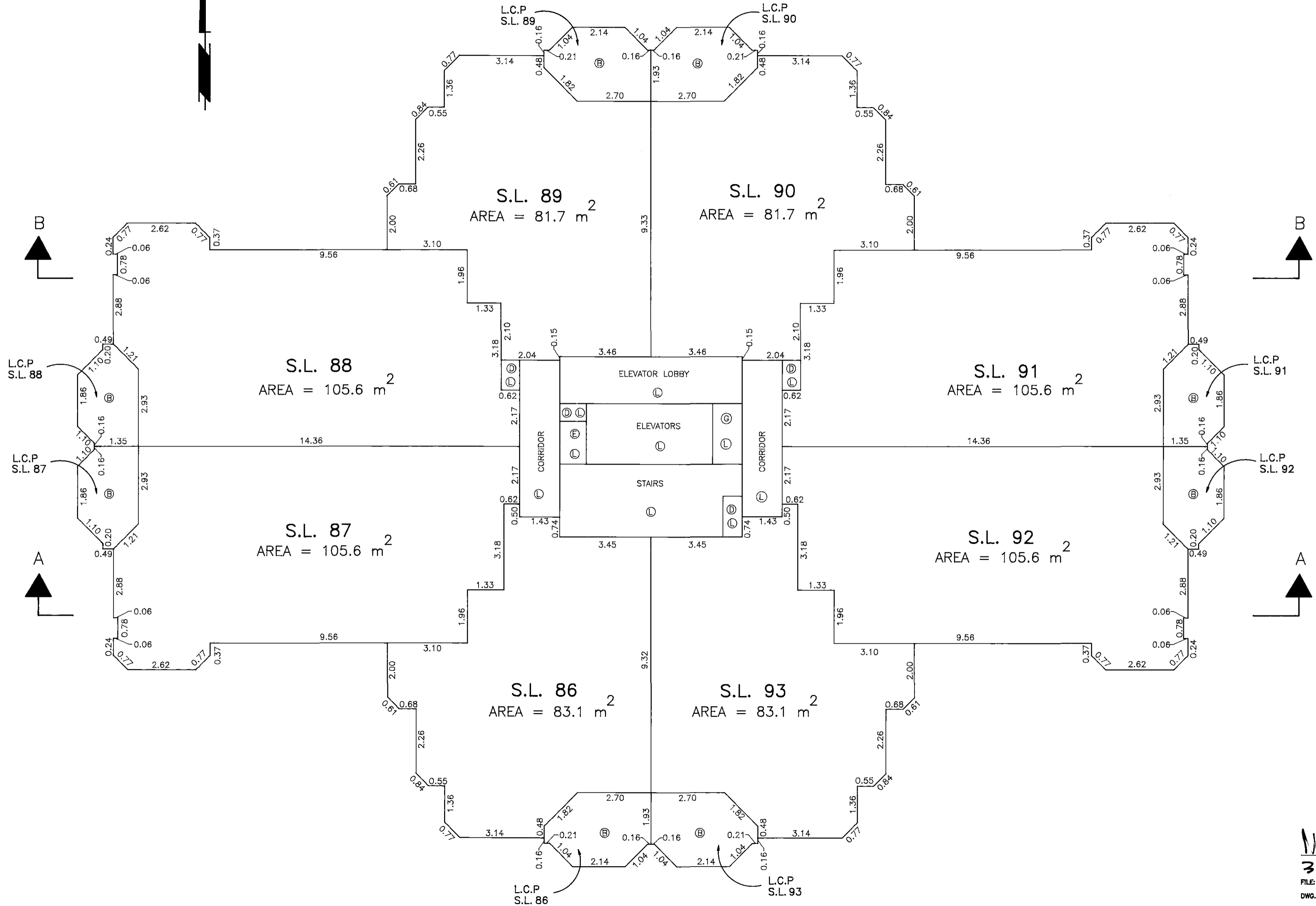


PHASE 1
STRATA PLAN LMS 921

TWELFTH FLOOR



SCALE: 1 : 100

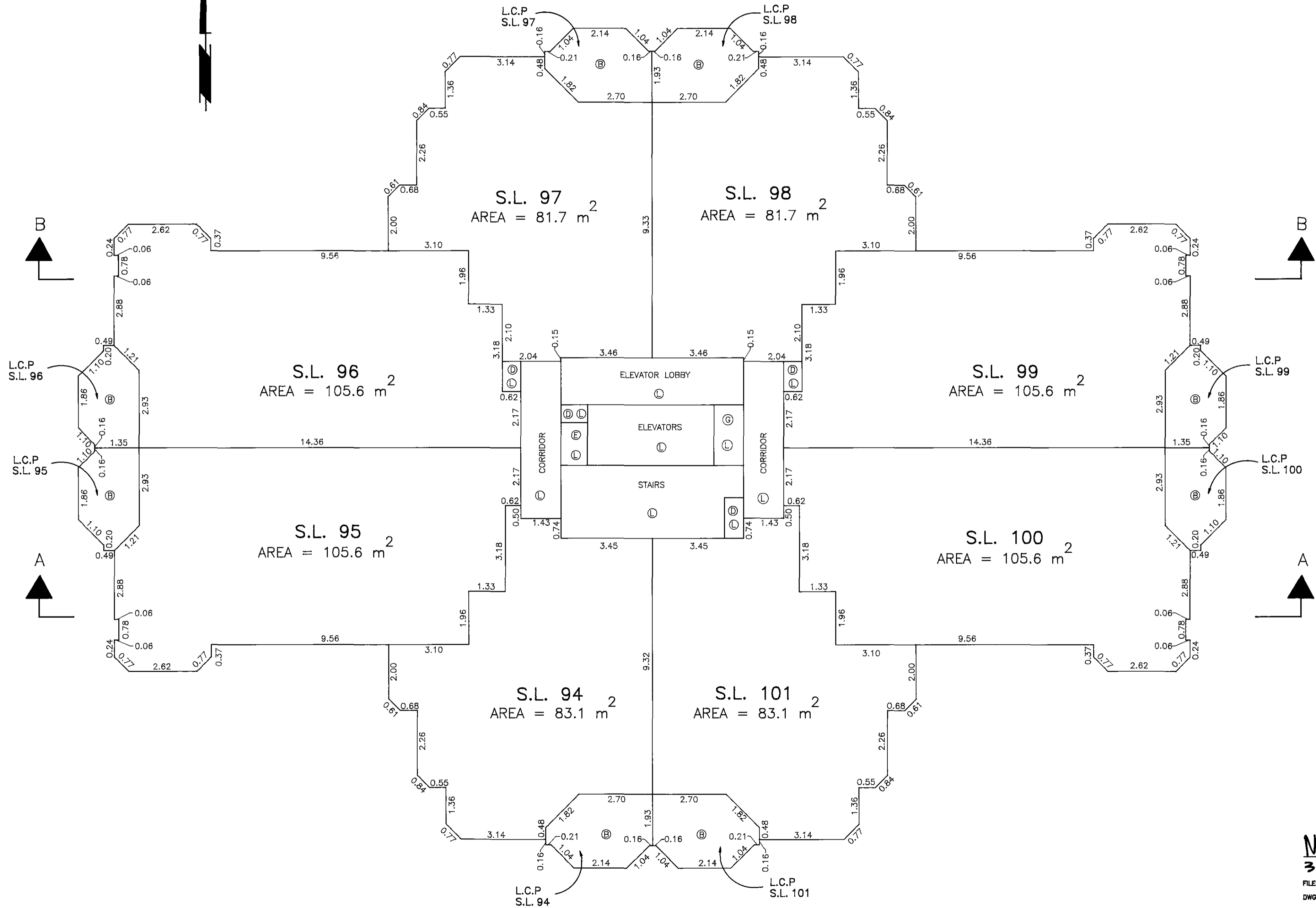


PHASE 1
STRATA PLAN LMS 921

FOURTEENTH FLOOR



SCALE: 1 : 100

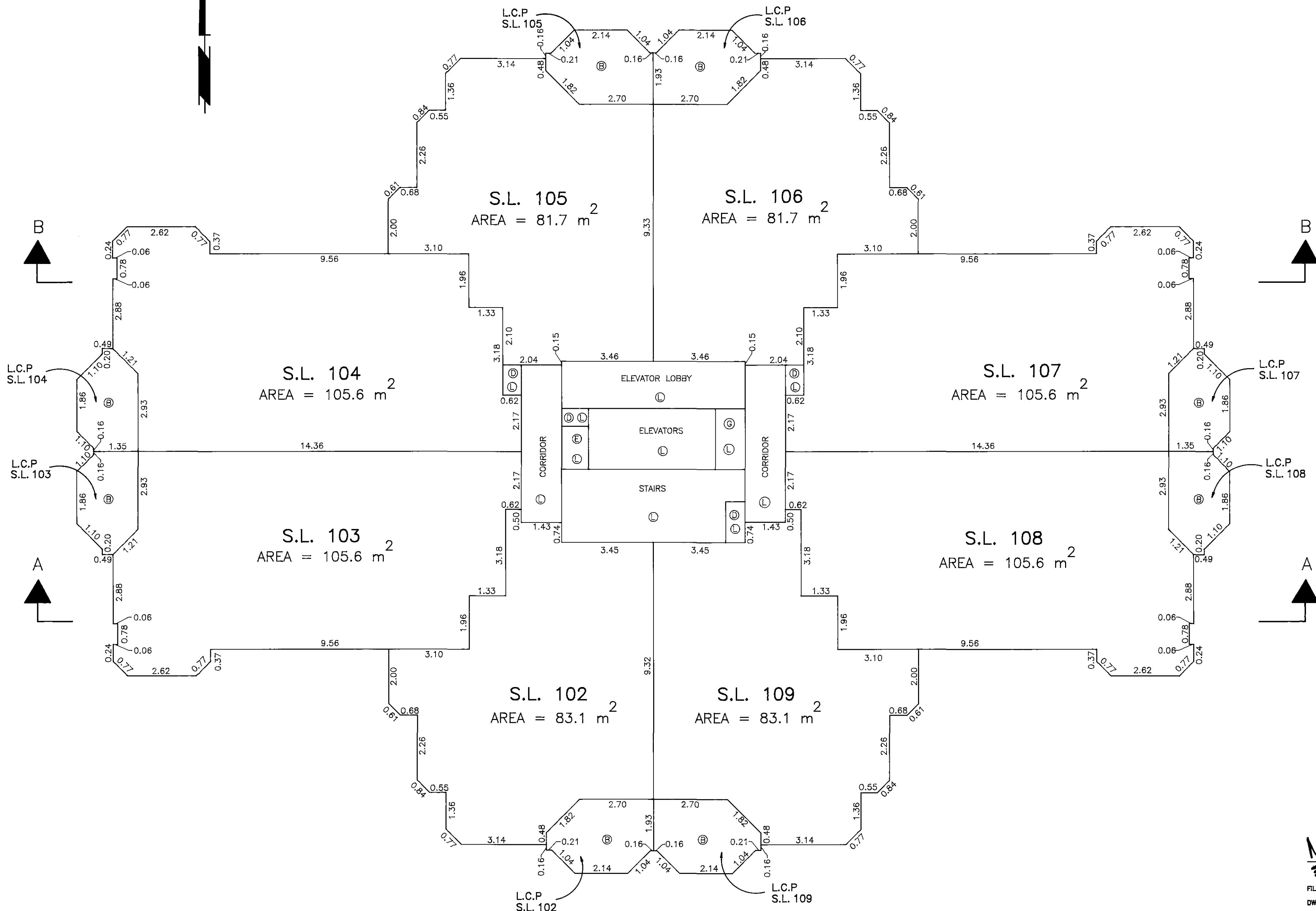


PHASE 1
STRATA PLAN LMS 921

FIFTEENTH FLOOR



SCALE: 1 : 100



S.L. 105
AREA = 81.7 m²

S.L. 106
AREA = 81.7 m²

S.L. 104
AREA = 105.6 m²

S.L. 107
AREA = 105.6 m²

S.L. 103
AREA = 105.6 m²

S.L. 108
AREA = 105.6 m²

S.L. 102
AREA = 83.1 m²

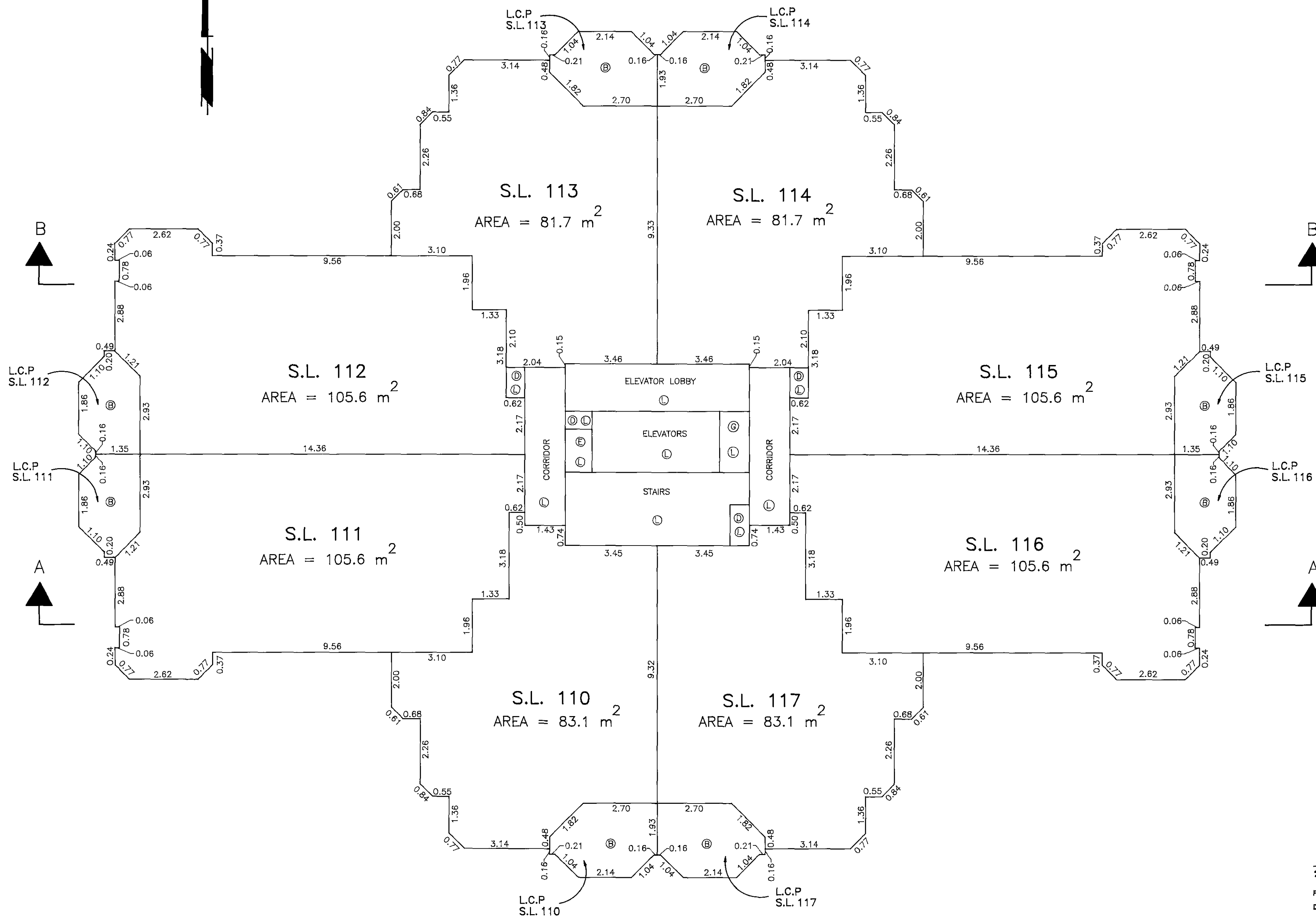
S.L. 109
AREA = 83.1 m²

PHASE 1
STRATA PLAN LMS 921

SIXTEENTH FLOOR

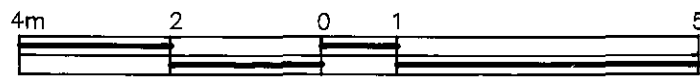


SCALE: 1 : 100

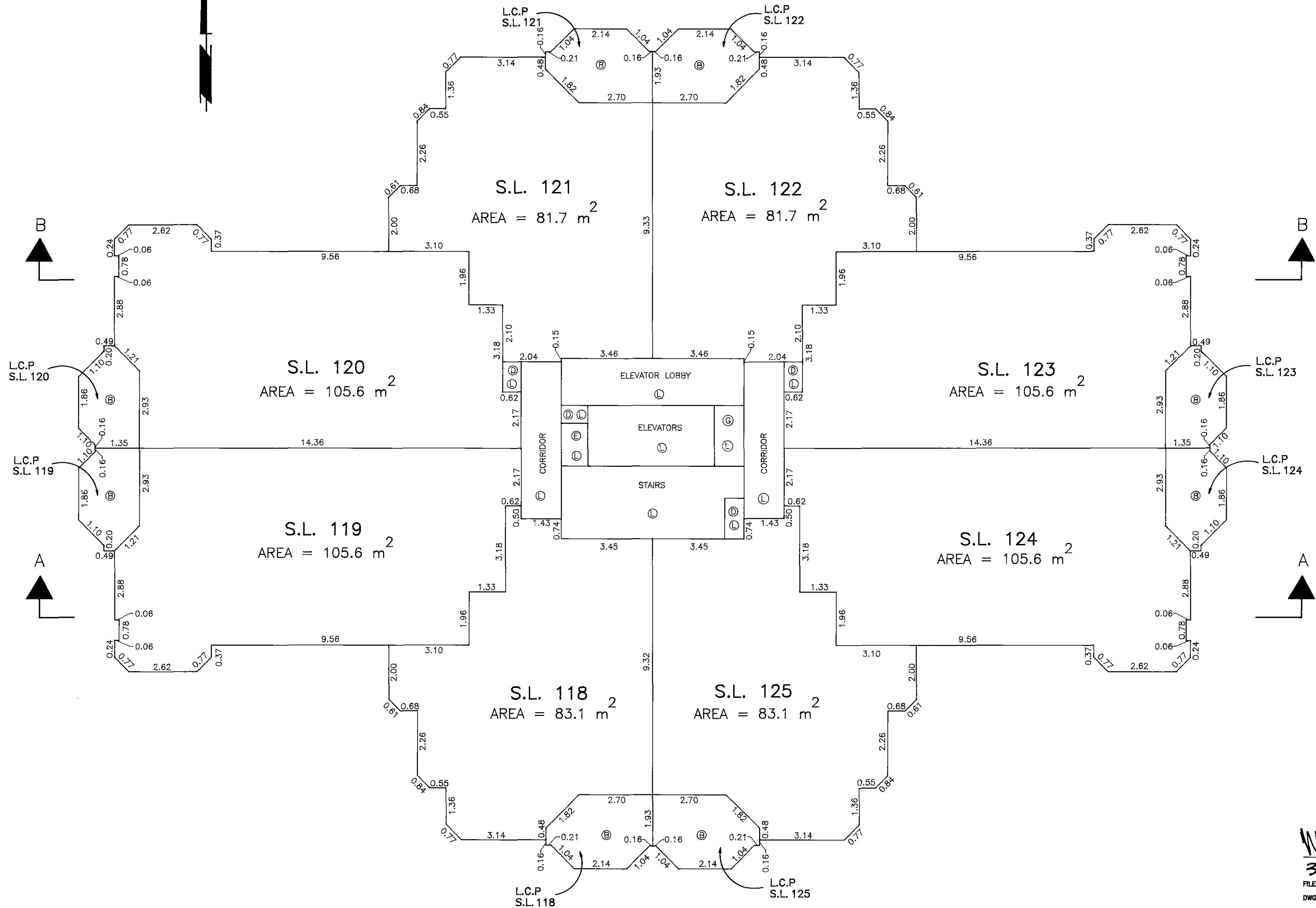


PHASE 1
STRATA PLAN LMS 921

SEVENTEENTH FLOOR



SCALE: 1 : 100



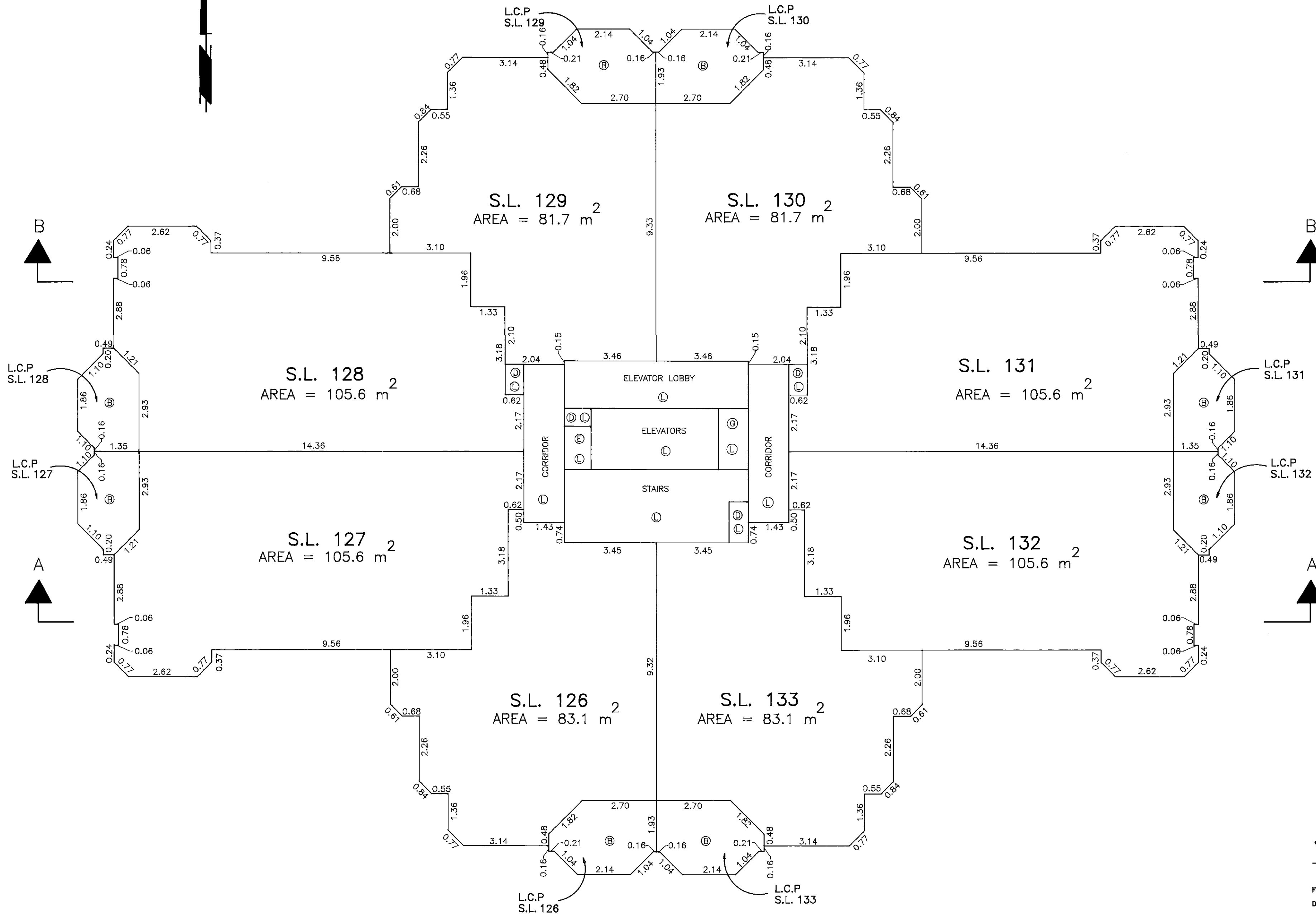
WAB.
 B.C.L.S.
 31 MAY 1993
 FILE: 2588-0
 DWG.: 1233 REV.: 0

PHASE 1
STRATA PLAN LMS 921

EIGHTEENTH FLOOR



SCALE: 1 : 100

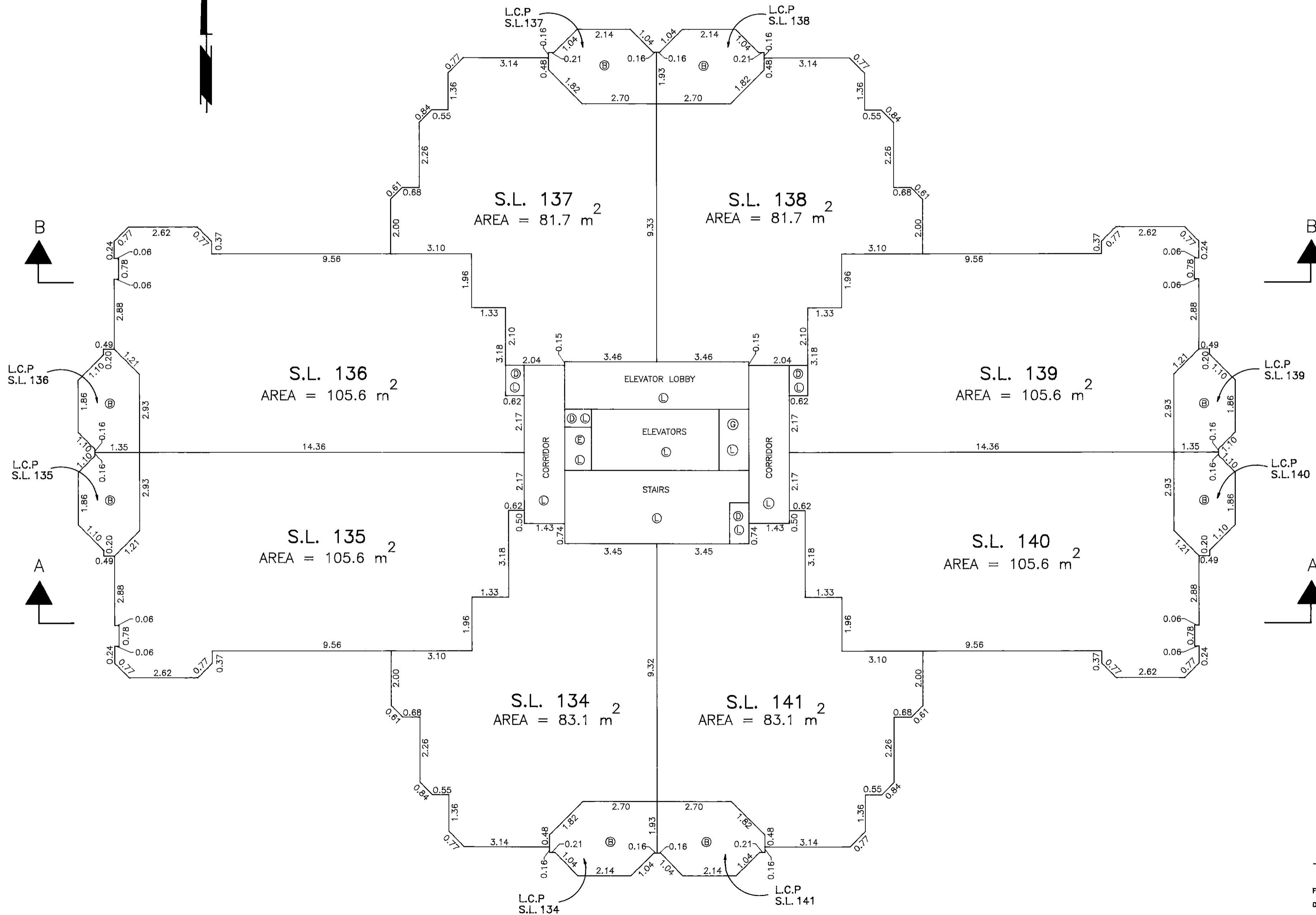


PHASE 1
STRATA PLAN LMS 921

NINETEENTH FLOOR



SCALE: 1 : 100

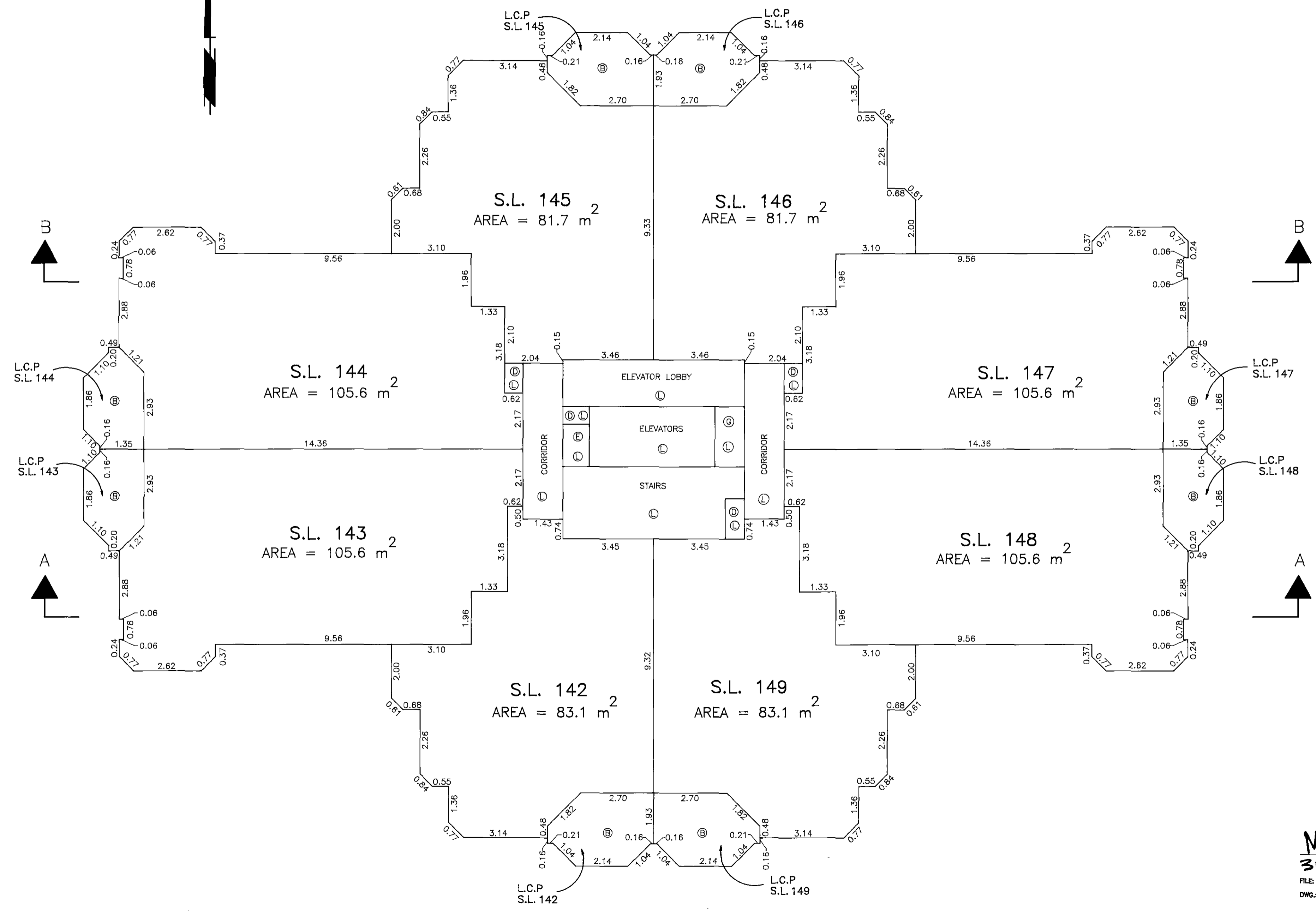


PHASE 1
STRATA PLAN LMS 921

TWENTIETH FLOOR



SCALE: 1 : 100



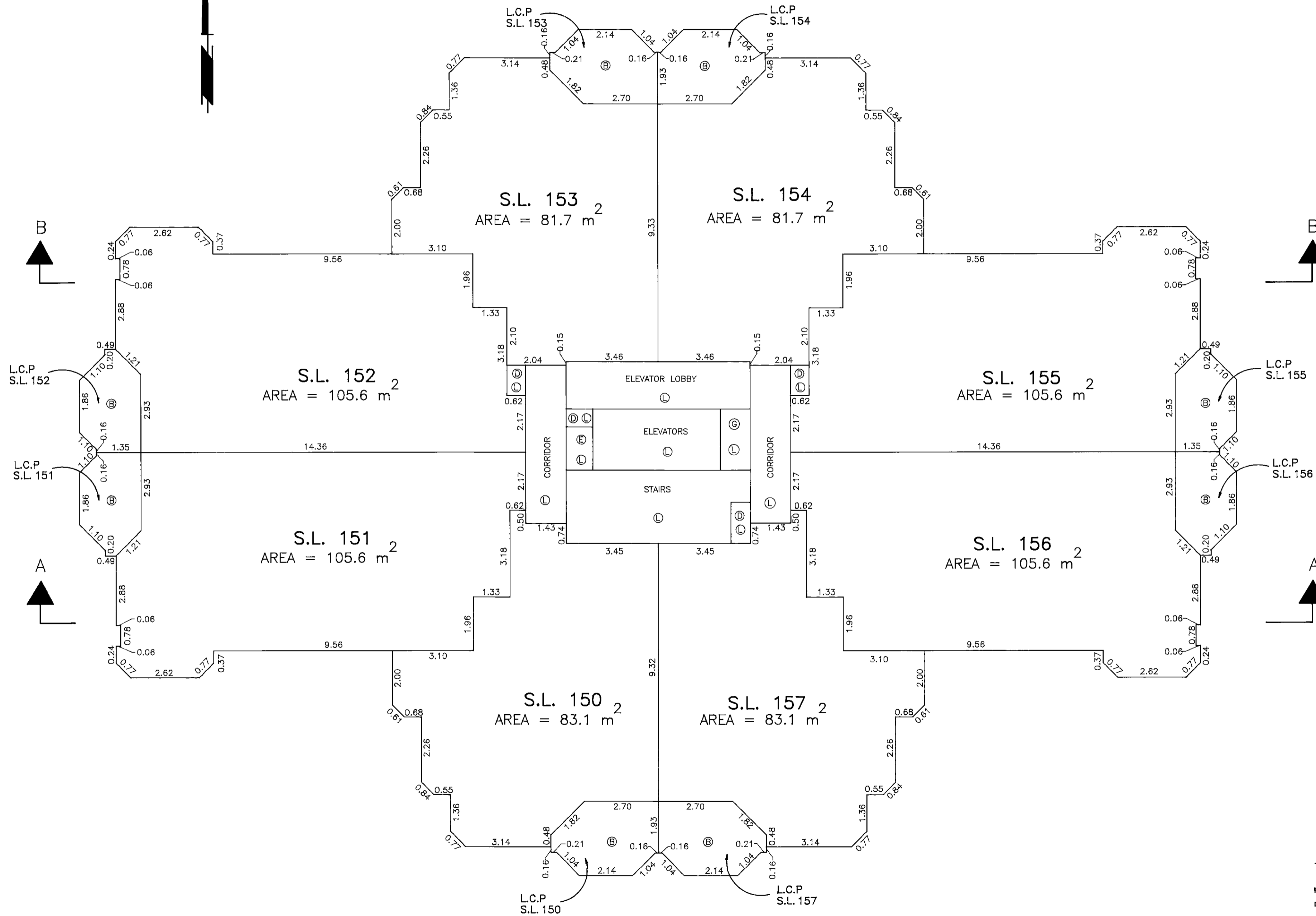
MKS.
 31 MAY 1993
 FILE: 2588-0
 DWG.: 1233 REV.: 0

PHASE 1
STRATA PLAN LMS 921

TWENTY-FIRST FLOOR



SCALE: 1 : 100

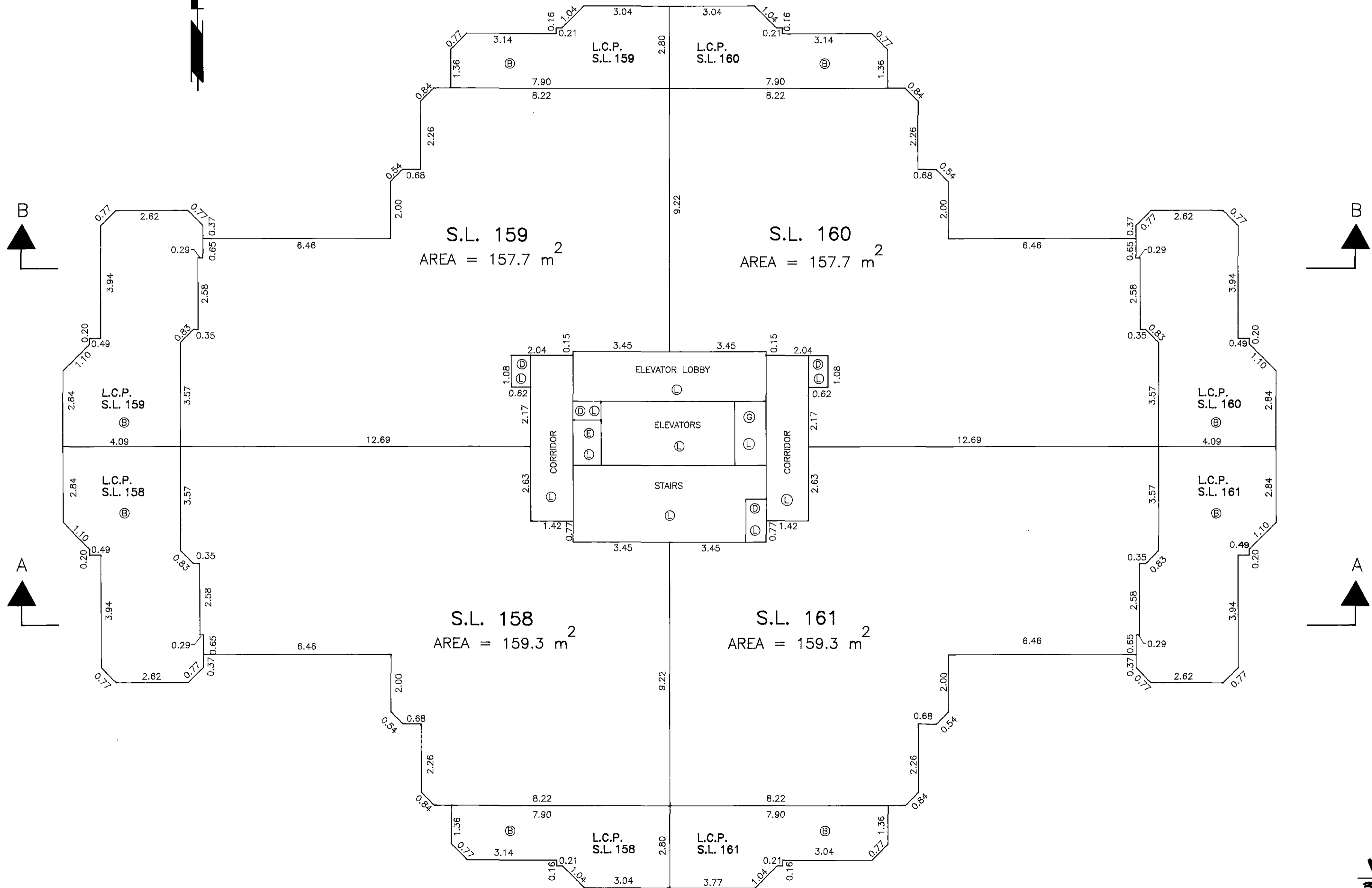


PHASE 1
STRATA PLAN LMS 921

TWENTY-SECOND FLOOR (LOWER PENTHOUSE)



SCALE: 1 : 100



S.L. 159
AREA = 157.7 m²

S.L. 160
AREA = 157.7 m²

S.L. 158
AREA = 159.3 m²

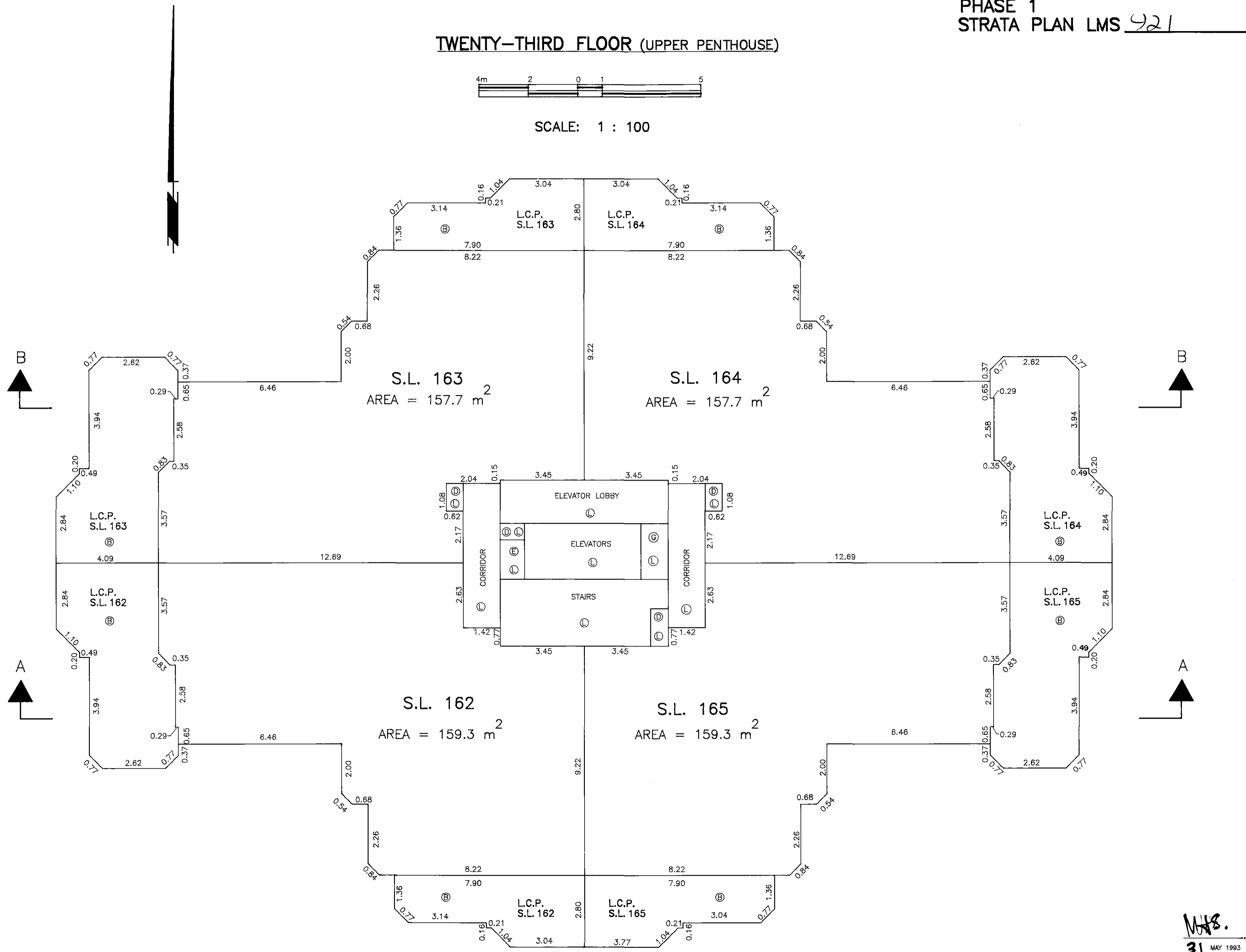
S.L. 161
AREA = 159.3 m²

PHASE 1
STRATA PLAN LMS 921

TWENTY-THIRD FLOOR (UPPER PENTHOUSE)



SCALE: 1 : 100



S.L. 163
AREA = 157.7 m²

S.L. 164
AREA = 157.7 m²

S.L. 162
AREA = 159.3 m²

S.L. 165
AREA = 159.3 m²

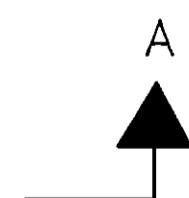
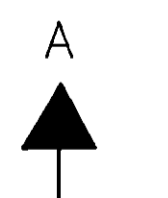
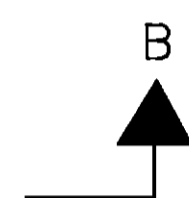
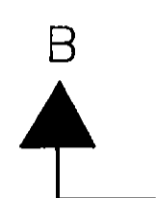
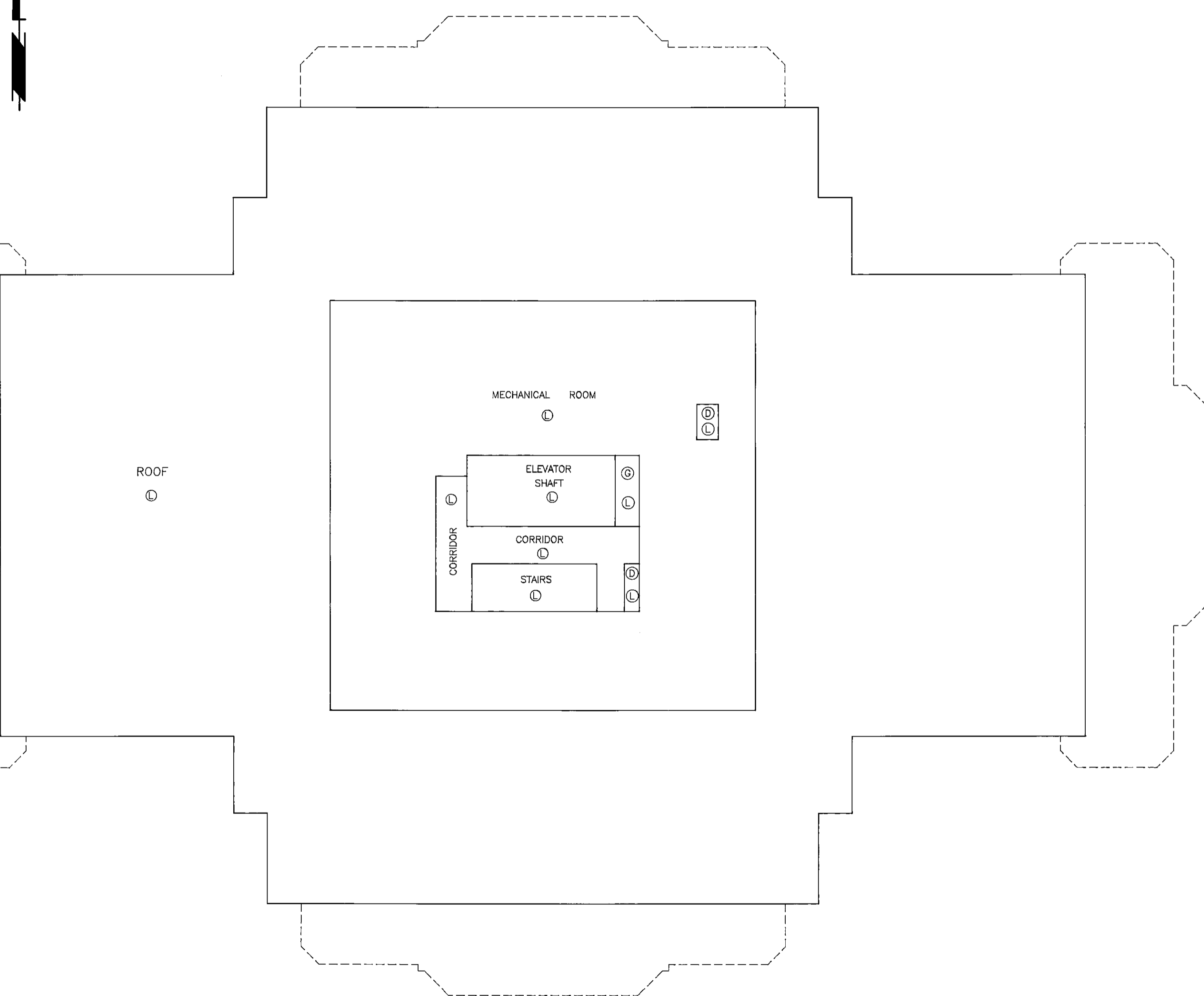
MHS.
31 MAY 1993
FILE: 2588-0
DWG.: 1233 REV.: 0

PHASE 1
STRATA PLAN LMS 921

TWENTY-FOURTH FLOOR (ROOF)



SCALE: 1 : 100

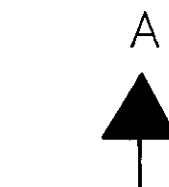
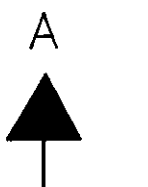
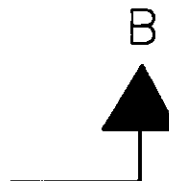
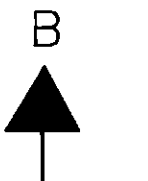
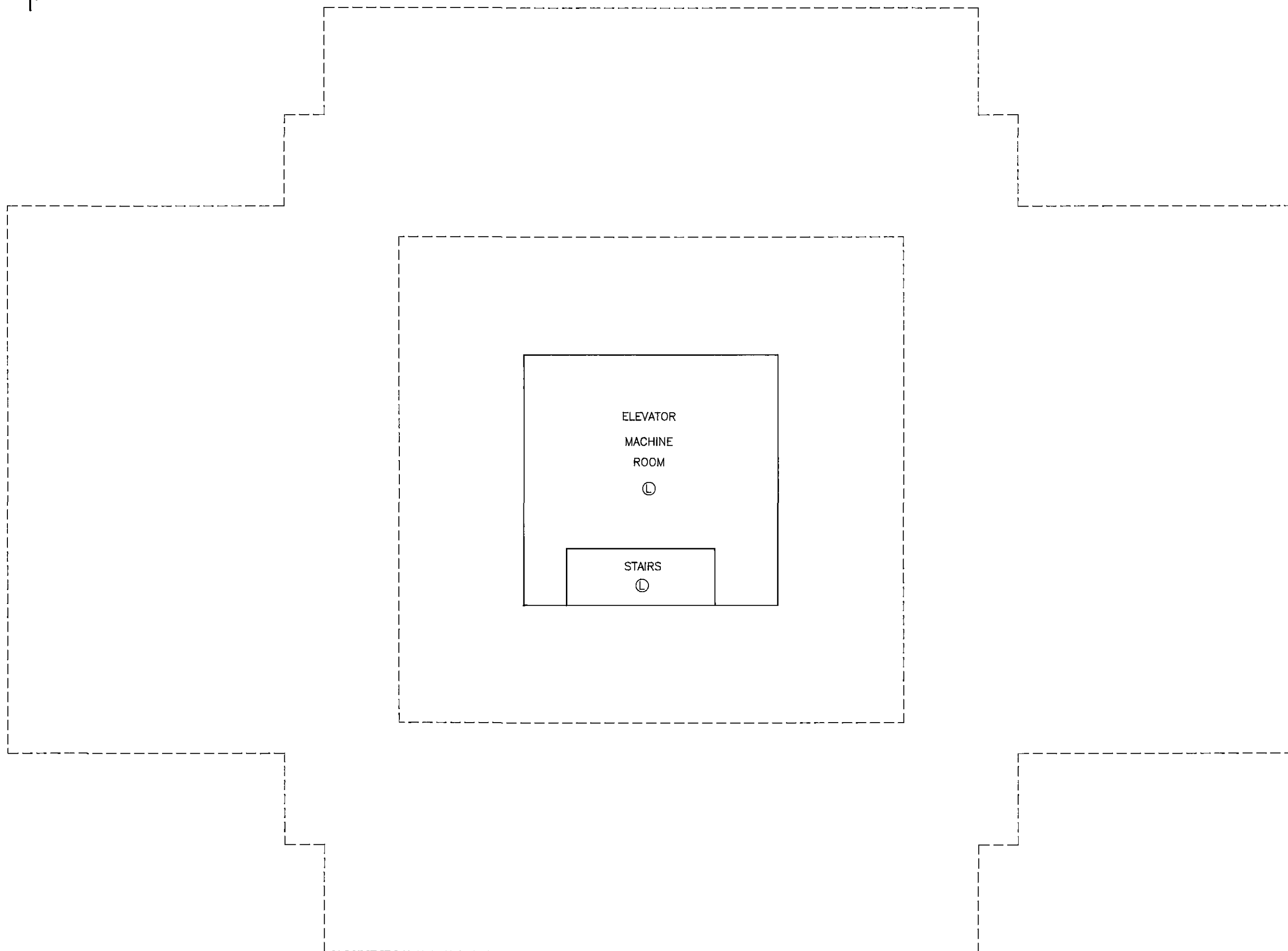


PHASE 1
STRATA PLAN LMS 921

TWENTY-FIFTH FLOOR



SCALE: 1 : 100

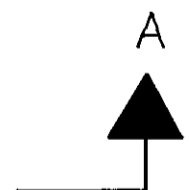
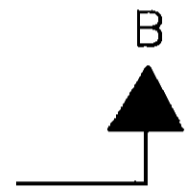
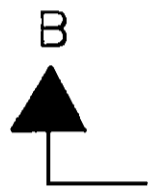
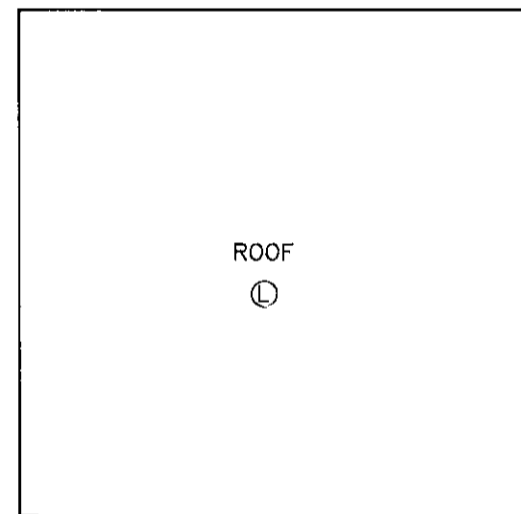


PHASE 1
STRATA PLAN LMS 921

ROOF (ELEVATOR MACHINE ROOM)



SCALE: 1 : 100



Common Property Sheet Closed 19/11/95
 Search ALTOS2 or BC OnLine for Current Information. BC Reg. 76/95

STRATA PLAN LMS 921

DEALINGS AFFECTING THE COMMON PROPERTY

RECORD OF BY-LAWS AND ORDER, ETC.


REGISTRATION		DOCUMENT	
NUMBER	DATE	DATE	NATURE AND PARTICULARS
PPSA NOTICE, SEE BF208962 ; EXPIRES 17/03/1997			
AC 69534	29/03/1989		STATUTORY RIGHT OF WAY IN FAVOUR OF DISTRICT OF SURREY; PLAN 66227
AC 186130	31/07/1989		STATUTORY RIGHT OF WAY IN FAVOUR OF DISTRICT OF SURREY; PLAN 66227
AC 228279	19/09/1989		COVENANT IN FAVOUR OF DISTRICT OF SURREY; SECTION 215 LAND TITLE ACT
AD100465	06/04/1990		COVENANT IN FAVOUR OF DISTRICT OF SURREY; SECTION 215 LAND TITLE ACT
BG265272	27/07/1993		EASEMENT APPURTENANT TO LOT 1 EXCEPT PHASE ONE STRATA PLAN LMS921, PLAN 85069.
BH 251675	04.07.1994		Special Resolution pursuant to Section 23, Acquired Asset (Condo. Act)
BH 251676	04.07.1994		Freehold Transfer - The Owners, Strata Plan LMS921 - Strata Lot 1... Strata Plan LMS 921 - Acquired Asset pursuant to Section 23, Condo - minium Act

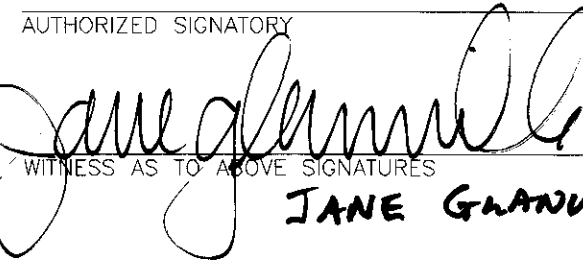
FILING		DOCUMENT	
NUMBER	DATE	DATE	NATURE AND PARTICULARS
BG245869	12/07/1993		NOTIFICATION OF CHANGE OF BYLAWS
BJ168964	9.6.95		NOTIFICATION OF CHANGE OF BYLAWS.
BL65962	25.02.97		NOTIFICATION OF CHANGE OF BYLAWS.
BL65963	25.02.97		NOTIFICATIONS OF CHANGE OF BYLAWS
BL197460	June 4/97		Change of Bylaws

PHASE 2
STRATA PLAN LMS 921
.....

SIGNATURES


OWNER/DEVELOPER
GUILDFORD PARK ENTERPRISES LTD.
(INCORPORATION No. 348458)


AUTHORIZED SIGNATORY ALLEN LAI

AUTHORIZED SIGNATORY

WITNESS AS TO ABOVE SIGNATURES
JANE GRANVILLE

800-885 West Georgia Street, Vancouver
ADDRESS OF WITNESS

Lawyer
OCCUPATION OF WITNESS

MORTGAGEE
HSBC BANK CANADA

AUTHORIZED SIGNATORY JOHN DAVIS

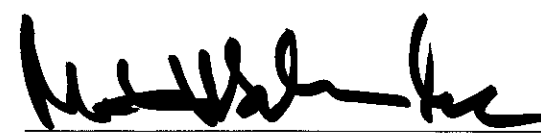
AUTHORIZED SIGNATORY TODD PATCHELL


WITNESS AS TO ABOVE SIGNATURES
JANE GRANVILLE

800-885 West Georgia Street, Vancouver
ADDRESS OF WITNESS

Lawyer
OCCUPATION OF WITNESS

I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR
CERTIFY THAT THE BUILDINGS INCLUDED IN THIS STRATA PLAN
HAVE NOT, AS OF DECEMBER 6TH, 2004 BEEN PREVIOUSLY OCCUPIED.


B.C.L.S.

ACCEPTED AS TO FORMS 1 AND 2

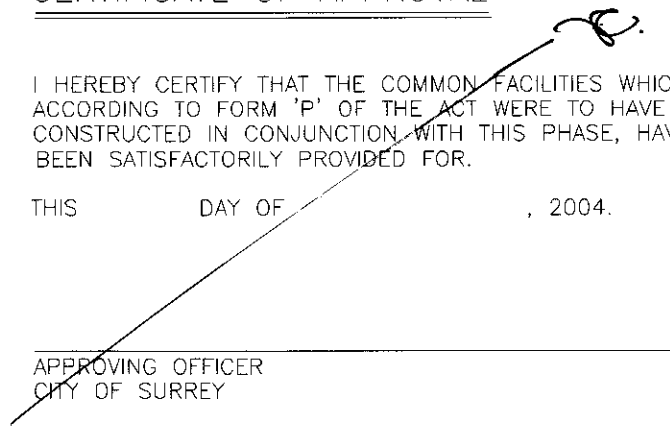
THIS 9TH DAY OF DECEMBER, 2004

FOR 
SUPERINTENDENT OF REAL ESTATE PETER GAIMMET

SECTION 8 (2)
CERTIFICATE OF APPROVAL

I HEREBY CERTIFY THAT THE COMMON FACILITIES WHICH
ACCORDING TO FORM "P" OF THE ACT WERE TO HAVE BEEN
CONSTRUCTED IN CONJUNCTION WITH THIS PHASE, HAVE
BEEN SATISFACTORILY PROVIDED FOR.

THIS _____ DAY OF _____, 2004.


APPROVING OFFICER
CITY OF SURREY
APPROVED AS TO PHASE 2 OF A 10 PHASE STRATA PLAN
UNDER THE CONDOMINIUM ACT.

THIS 13th DAY OF December, 2004.


APPROVING OFFICER
CITY OF SURREY JUDITH ROBERTSON

STATUTORY DECLARATION


I, THE UNDERSIGNED DO SOLEMNLY DECLARE THAT
1) I, THE UNDERSIGNED AM THE DULY AUTHORIZED
AGENT OF THE OWNER/DEVELOPER.
2) THE STRATA PLAN IS ENTIRELY FOR RESIDENTIAL USE.
I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY
BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF
THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.


ALLEN LAI

DECLARED BEFORE ME AT
IN THE PROVINCE OF BRITISH COLUMBIA
THIS 7th DAY OF December 2004.


A COMMISSIONER FOR TAKING AFFIDAVITS
WITHIN THE PROVINCE OF BRITISH COLUMBIA

I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR
CERTIFY THAT THE BUILDINGS SHOWN ON THIS STRATA PLAN ARE
WITHIN THE EXTERNAL BOUNDARIES OF THE LAND THAT IS THE
SUBJECT OF THE STRATA PLAN.
DATE: DECEMBER 7th, 2004.


B.C.L.S.


....., B.C.L.S.
DECEMBER 7th, 2004

FILE: 2588-4
DWG.: 2068

PHASE 2
STRATA PLAN LMS 921
.....

CONDOMINIUM ACT

STRATA LOT No.	UNIT No. (ADDRESS)	SHEET No.	FORM 1	FORM 2	FORM 3
			SCHEDULE OF UNIT ENTITLEMENT	SCHEDULE OF INTEREST UPON DESTRUCTION	SCHEDULE OF VOTING RIGHTS
			UNIT ENTITLEMENT	INTEREST UPON DESTRUCTION	NUMBER OF VOTES
166	1	5,6,7,8,9	1,109	1,890	1
167	2	5,6,7,8,9	1,109	1,850	1
168	3	5,6,7,8,9	1,107	1,850	1
169	4	5,6,7,8,9	1,108	1,850	1
170	5	5,6,7,8,9	1,107	1,850	1
171	6	5,6,7,8,9	1,109	1,850	1
172	7	5,6,7,8,9	1,108	1,935	1
173	8	5,6,7,8,9	1,108	1,935	1
174	9	5,6,7,8,9	1,107	1,850	1
175	10	5,6,7,8,9	1,109	1,850	1
176	11	5,6,7,8,9	1,107	1,850	1
177	12	5,6,7,8,9	1,108	1,850	1
178	13	5,6,7,8,9	1,108	1,850	1
179	14	5,6,7,8,9	1,108	1,845	1
180	15	5,6,7,8,9	1,107	1,935	1
PHASE 2 AGGREGATE			16,619	28,040	15

PHASE 1 AGGREGATE	174,386	276,397	165
--------------------------	----------------	----------------	------------

PHASE 1 + PHASE 2 AGGREGATE	191,005	304,437	180
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NKS .
....., B.C.L.S.
DECEMBER 7th, 2004

FILE: 2588-4
DWG.: 2068

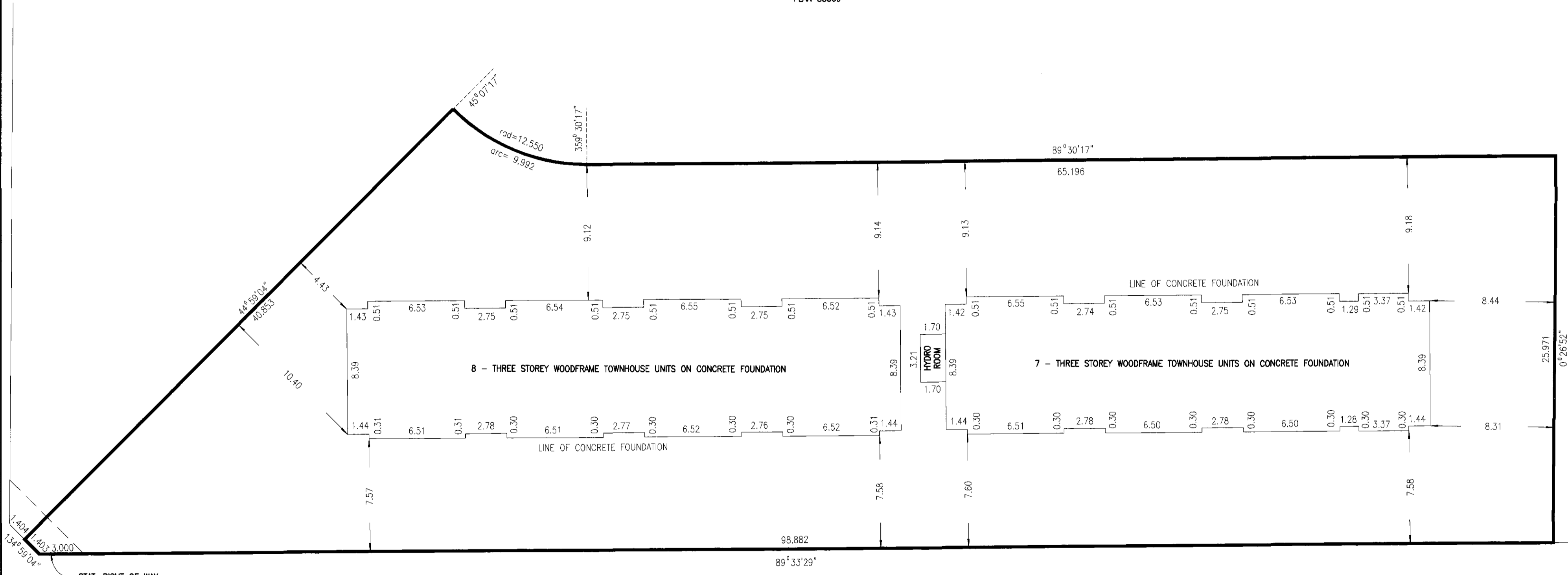
PHASE 2
STRATA PLAN LMS 921
.....

BUILDINGS LOCATION AND DIMENSIONS



SCALE = 1 : 200

REM. LOT 1
PLAN 85069



STAT. RIGHT OF WAY
REF.PLAN BCP 13993

100th Avenue

Full
....., B.C.L.S.
DECEMBER 7th, 2004

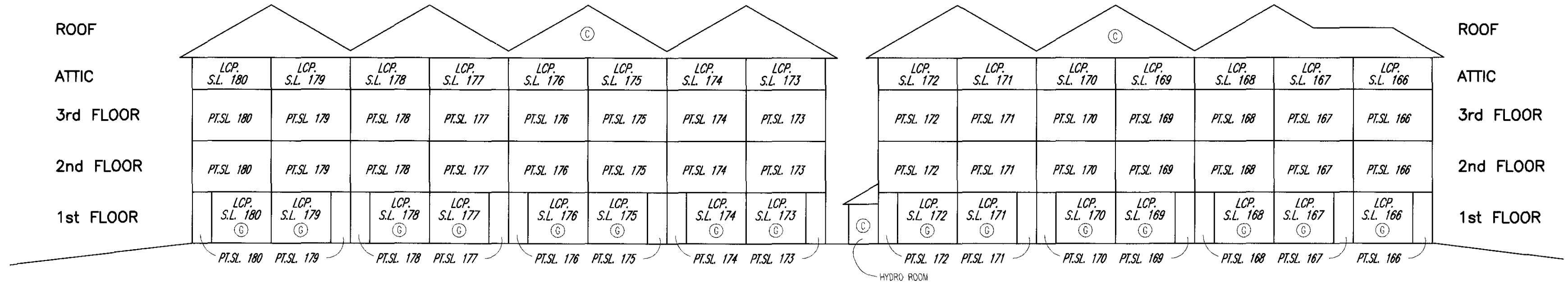
FILE: 2588-4
DWG.: 2068

PHASE 2
STRATA PLAN LMS 921
.....

SECTION 'A'-'A'



HORIZONTAL SCALE = 1 : 200
VERTICAL NOT TO SCALE



M.K.
....., B.C.L.S.
DECEMBER 7th, 2004

FILE: 2588-4
DWG.: 2068

PHASE 2 STRATA PLAN LMS 921

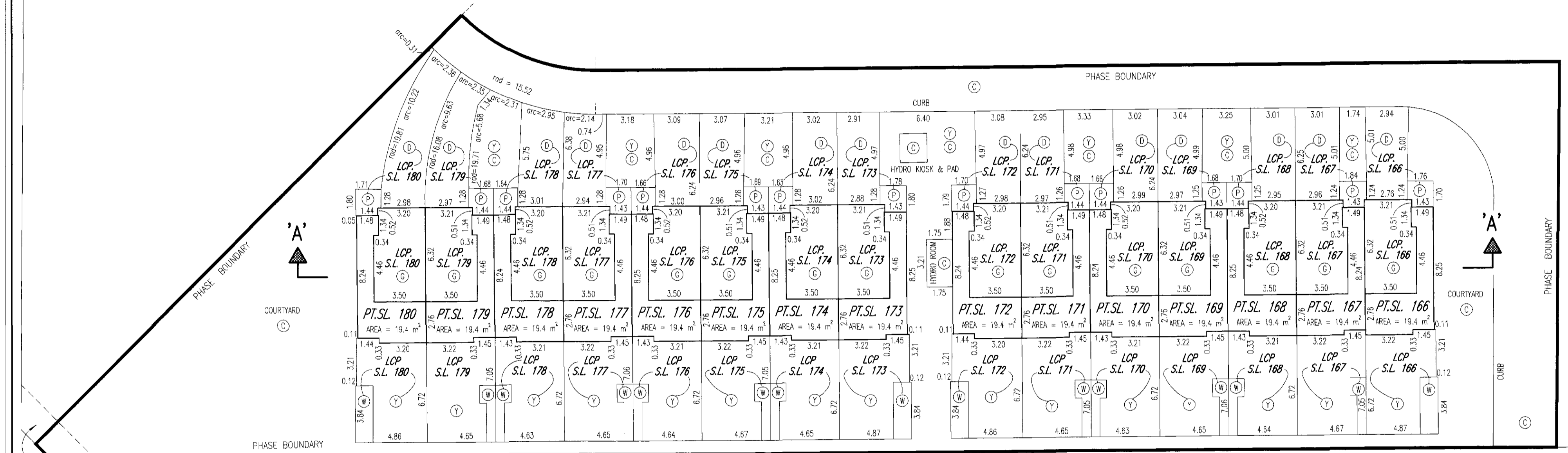
1st FLOOR



SCALE = 1 : 200

REM. LOT 1

PLAN 85069



STAT. RIGHT OF WAY REF. PLAN BOP 1.2.2.2.3

100th Avenue

WKS., B.C.L.S.

DECEMBER 7th, 2004

FILE: 2588-4

DWG.: 2068

ORIGINAL

PHASE 2 STRATA PLAN LMS 921

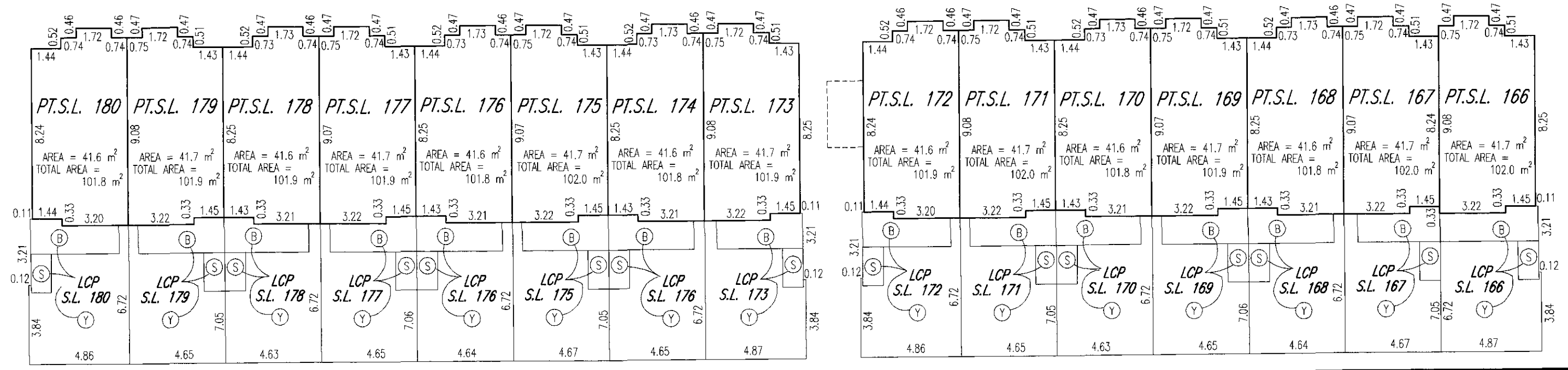
2nd FLOOR

0 1 2 4 6 8 10 metres

SCALE = 1 : 200

REM. LOT 1

PLAN 85069



COURTYARD

PHASE BOUNDARY

PHASE BOUNDARY

PHASE BOUNDARY

STAT. RIGHT OF WAY
REF. PLAN BCP 11/21/03

100th Avenue

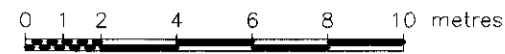
MJB
....., B.C.L.S.
DECEMBER 7th, 2004

FILE: 2588-4
DWG.: 2068

ORIGINAL

PHASE 2 STRATA PLAN LMS 921

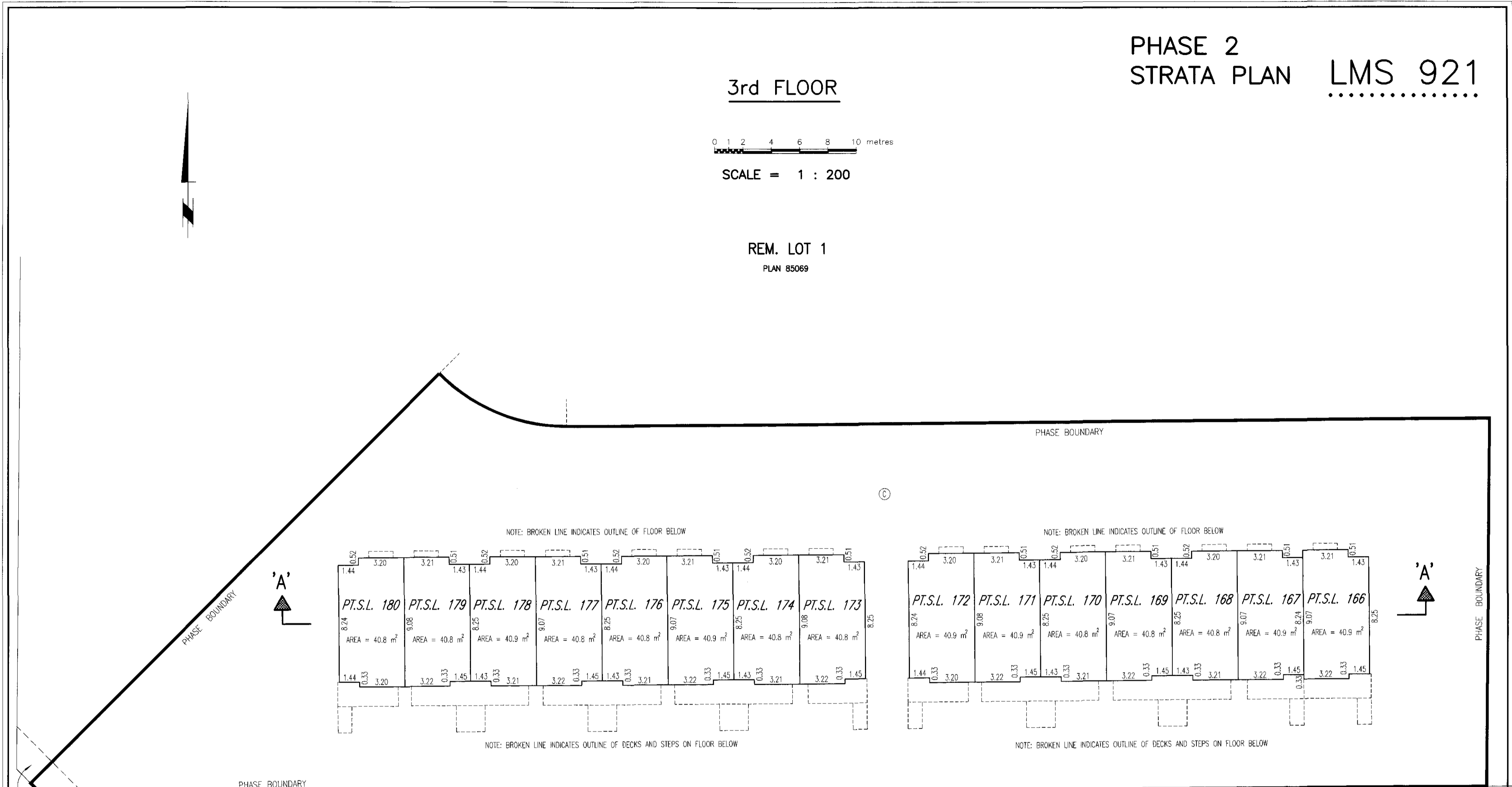
3rd FLOOR



SCALE = 1 : 200

REM. LOT 1

PLAN 85069



NOTE: BROKEN LINE INDICATES OUTLINE OF FLOOR BELOW

NOTE: BROKEN LINE INDICATES OUTLINE OF FLOOR BELOW

NOTE: BROKEN LINE INDICATES OUTLINE OF DECKS AND STEPS ON FLOOR BELOW

NOTE: BROKEN LINE INDICATES OUTLINE OF DECKS AND STEPS ON FLOOR BELOW



STATE RIGHT OF WAY
REF. PLAN BOP 122623

100th Avenue

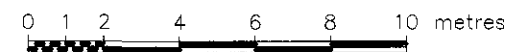
LMS.
....., B.C.L.S.
DECEMBER 7th, 2004

FILE: 2588-4
DWG.: 2068

ORIGINAL

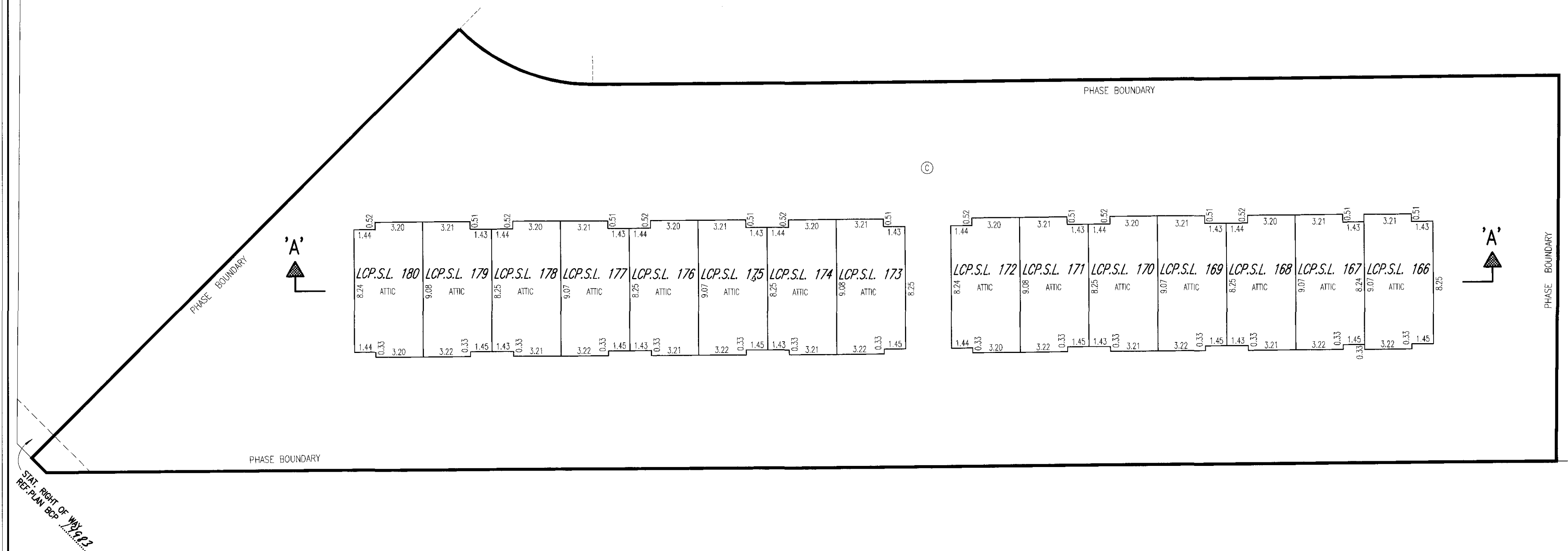
PHASE 2
STRATA PLAN LMS 921
.....

ATTIC



SCALE = 1 : 200

REM. LOT 1
PLAN 85069



100th Avenue

KUR, B.C.L.S.

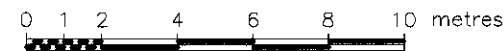
DECEMBER 7th, 2004

FILE: 2588-4

DWG.: 2068

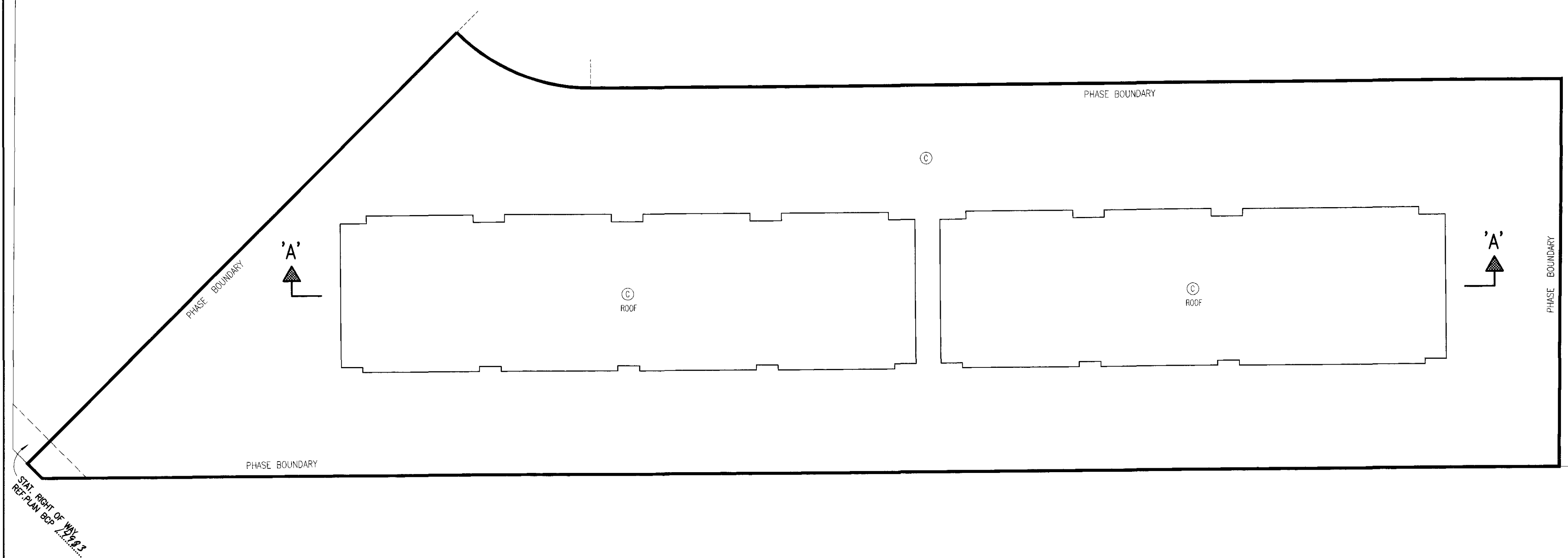
PHASE 2
STRATA PLAN LMS 921
.....

ROOF



SCALE = 1 : 200

REM. LOT 1
PLAN 85069



STAT. RIGHT OF WAY
REF. PLAN BCP 2218.2

100th Avenue

WKS.
....., B.C.L.S.
DECEMBER 7th, 2004

FILE: 2588-4
DWG.: 2068

STRATA PLAN OF PART OF LOT 1, EXCEPT FIRSTLY: PHASE 1 STRATA PLAN LMS921, EXCEPT SECONDLY: PHASE 2 STRATA PLAN LMS921, SECTION 29, BLOCK 5 NORTH, RANGE 1 WEST, NEW WESTMINSTER DISTRICT, PLAN 85069.

PHASE 3 STRATA PLAN LMS 921

DEPOSITED IN THE LAND TITLE OFFICE AT NEW WESTMINSTER, BRITISH COLUMBIA. THIS 31 DAY OF MARCH, 2005

"THE CITY OF SURREY" B.C.G.S. 92G.016

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT

J. Mac Donald /ct DEPUTY REGISTRAR BX126325-335

"GUILDFORD PARK PLACE" CIVIC ADDRESS:

14855 - 100th Avenue SURREY, B.C.

FORM "P" BX314425 FILING No.:

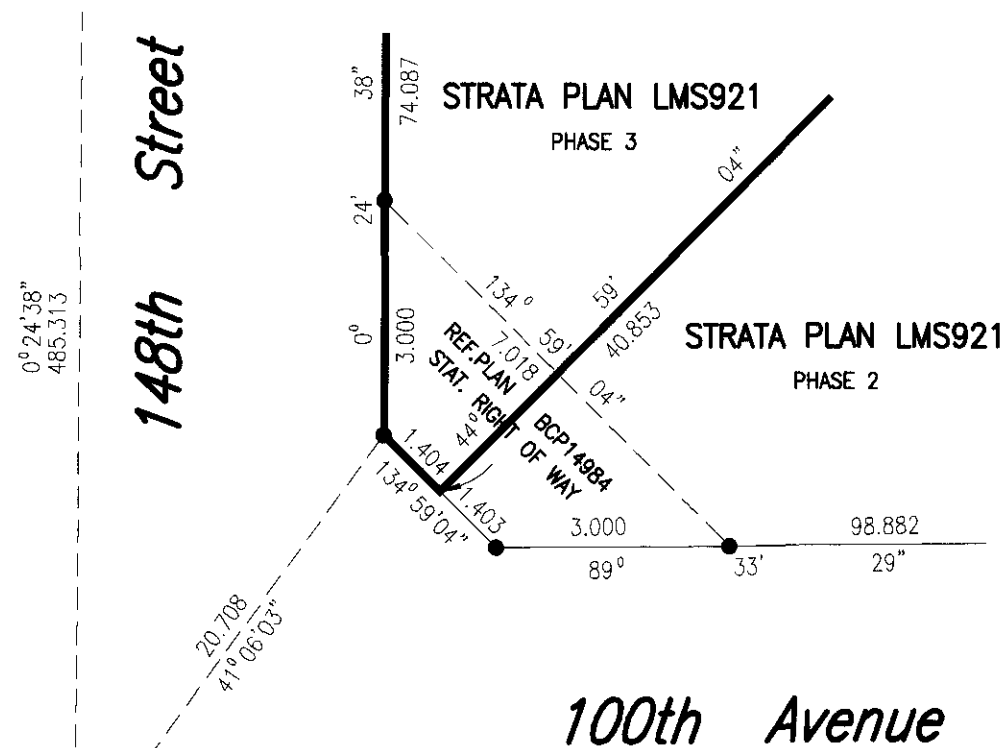
LEGEND:

- INDICATES CONTROL MONUMENT FOUND
INDICATES STANDARD IRON POST FOUND
INDICATES LEAD PLUG PLACED
m^2 INDICATES SQUARE METRES
c INDICATES CALCULATED
S.L. INDICATES STRATA LOT
L.C.P. INDICATES LIMITED COMMON PROPERTY
PT. INDICATES PART
INDICATES COMMON PROPERTY
INDICATES GARAGE
INDICATES WALKWAY
INDICATES YARD
INDICATES CONCRETE PAD
INDICATES DRIVEWAY
INDICATES STAIRS
INDICATES DECK

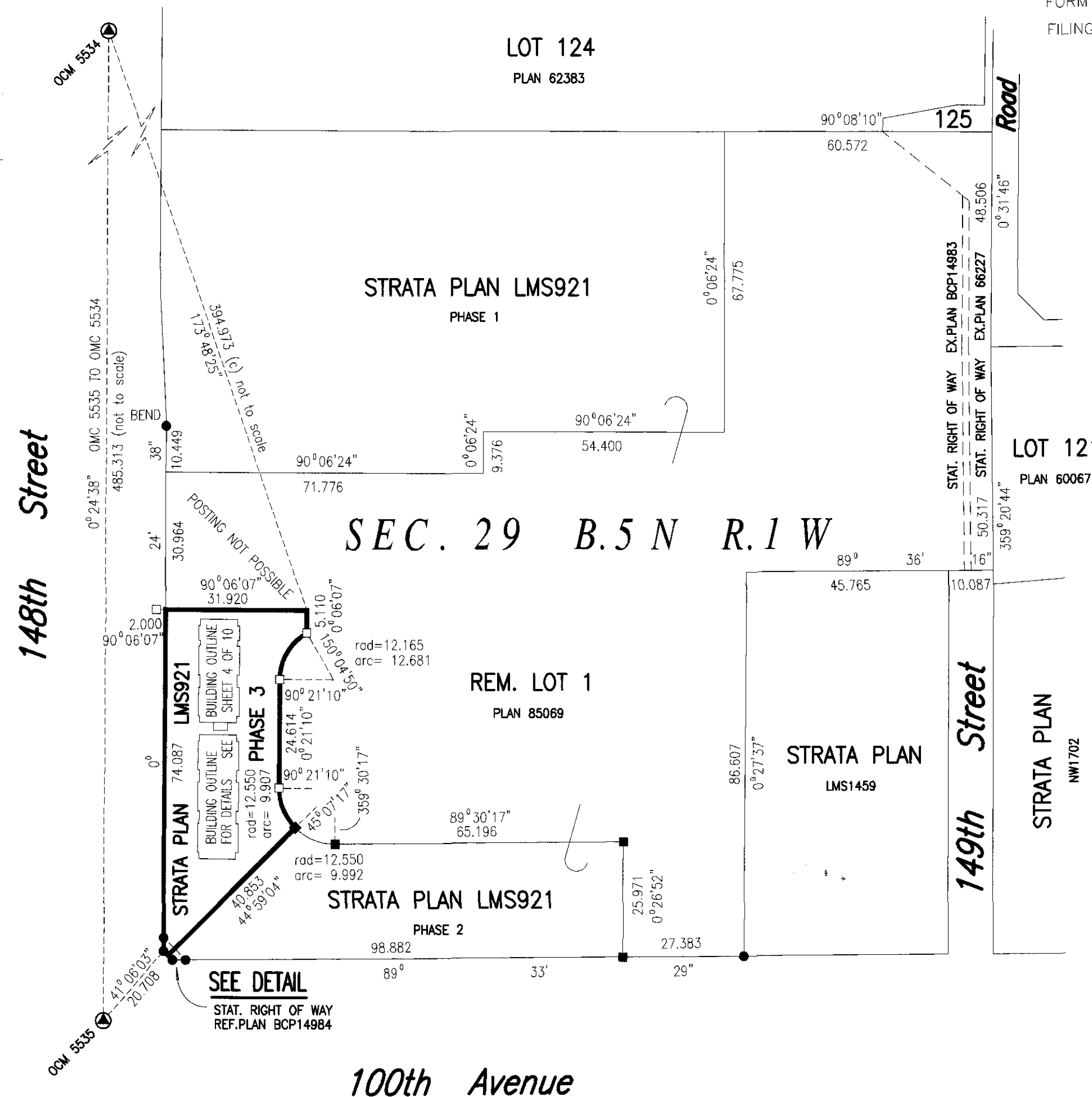
NOTES:

- ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE INDICATED.
- GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN CONTROL MONUMENTS 5534 AND 5535, NAD 83 (CSRS).
- THIS PLAN SHOWS GROUND LEVEL MEASURED DISTANCES. PRIOR TO COMPUTATION OF U.T.M. COORDINATES, MULTIPLY BY COMBINED FACTOR 0.99958955.

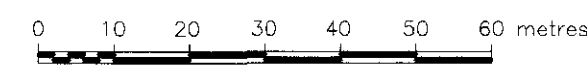
INTEGRATED SURVEY AREA No. 1, CITY OF SURREY.



DETAIL NOT TO SCALE



PLAN



SCALE = 1 : 1000

THE ADDRESS FOR SERVICE OF DOCUMENTS ON THE STRATA CORPORATION IS:

THE OWNERS, STRATA PLAN LMS921 c/o CLARK, WILSON, BARRISTERS & SOLICITORS 800 - 885 WEST GEORGIA STREET VANCOUVER, B.C., CANADA V6C 3H1

I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR OF DELTA IN BRITISH COLUMBIA CERTIFY THAT I WAS PRESENT AT AND PERSONALLY SUPERINTENDED THE SURVEY REPRESENTED BY THIS PLAN AND THAT THE SURVEY AND PLAN ARE CORRECT.

Martin H. Schulze signature and name: MARTIN HANS SCHULZE

SCHULZE & ASSOCIATES LEGAL AND ENGINEERING SURVEYS P.O. Box 19146, 1153 - 56th Street DELTA, B.C. V4L 2P8 TEL: (604)522-1616 FAX: (604)943-5054 e-mail: schulze@telus.net

FILE: 2588-4 DWG.: 2087 REV.: 0

Original

PHASE 3
STRATA PLAN LMS 921
.....

SIGNATURES

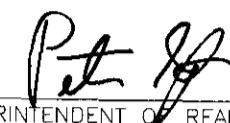
OWNER/DEVELOPER

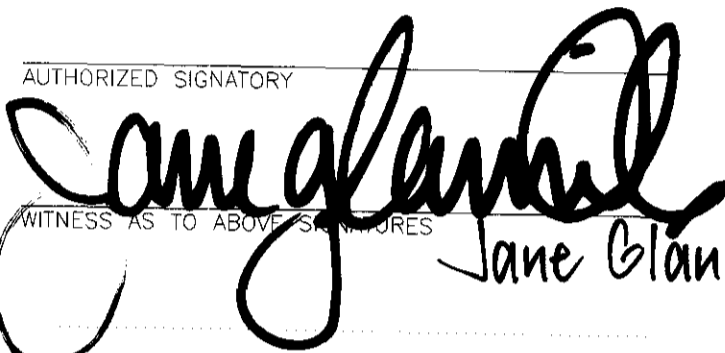
GUILDFORD PARK ENTERPRISES LTD.
(INCORPORATION No. 348458)

ACCEPTED AS TO FORMS 1 AND 2

THIS 29TH DAY OF MARCH, 2005


AUTHORIZED SIGNATORY Allen Lai

FOR 
SUPERINTENDENT OF REAL ESTATE


AUTHORIZED SIGNATORY
WITNESS AS TO ABOVE SIGNATURES Jane Glanville

800-885 West Georgia Street
ADDRESS OF WITNESS Vancouver, BC

Lawyer
OCCUPATION OF WITNESS


APPROVED AS TO PHASE 3 OF A 10 PHASE STRATA PLAN
UNDER THE CONDOMINIUM ACT.

THIS 30TH DAY OF March, 2005.

MORTGAGEE


HSBC BANK CANADA


AUTHORIZED SIGNATORY Paul Mathieson


APPROVING OFFICER
CITY OF SURREY

STATUTORY DECLARATION

I, THE UNDERSIGNED DO SOLEMNLY DECLARE THAT
1) I, THE UNDERSIGNED AM THE DULY AUTHORIZED
AGENT OF THE OWNER/DEVELOPER.
2) THE STRATA PLAN IS ENTIRELY FOR RESIDENTIAL USE.
I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY
BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF
THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.


AUTHORIZED SIGNATORY VINCE PROSEKO

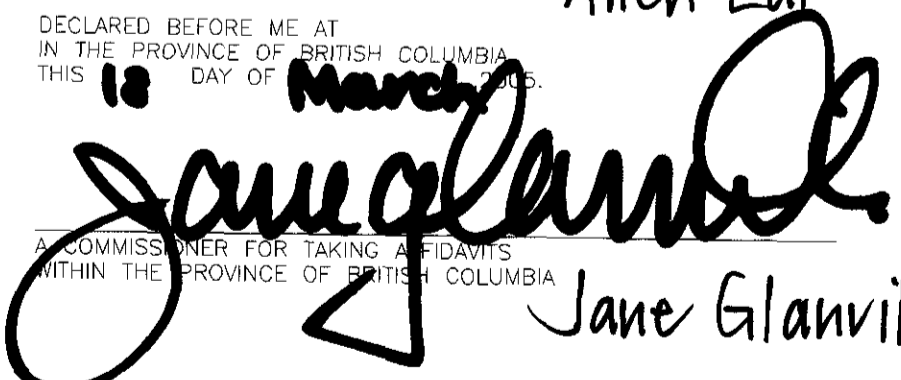

WITNESS AS TO ABOVE SIGNATURES SANDY HAXTON


Allen Lai

200-885 W. GEORGIA ST.
ADDRESS OF WITNESS VANCOUVER, BC

DECLARED BEFORE ME AT
IN THE PROVINCE OF BRITISH COLUMBIA
THIS 18 DAY OF March, 2005.


SC COMMERCIAL FINANCIAL
OCCUPATION OF WITNESS SERVICES OFFICER



A COMMISSIONER FOR TAKING AFFIDAVITS
WITHIN THE PROVINCE OF BRITISH COLUMBIA
Jane Glanville

I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR
CERTIFY THAT THE BUILDINGS INCLUDED IN THIS STRATA PLAN
HAVE NOT, AS OF MARCH 14th, 2005 BEEN PREVIOUSLY OCCUPIED.

I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR
CERTIFY THAT THE BUILDINGS SHOWN ON THIS STRATA PLAN ARE
WITHIN THE EXTERNAL BOUNDARIES OF THE LAND THAT IS THE
SUBJECT OF THE STRATA PLAN.
DATE: MARCH 15th, 2005.


B.C.L.S.


B.C.L.S.


... B.C.L.S.
MARCH 15th, 2004

PHASE 3
STRATA PLAN LMS 921
.....

CONDOMINIUM ACT

STRATA LOT No.	UNIT No. (ADDRESS)	SHEET No.	FORM 1	FORM 2	FORM 3
			SCHEDULE OF UNIT ENTITLEMENT	SCHEDULE OF INTEREST UPON DESTRUCTION	SCHEDULE OF VOTING RIGHTS
			UNIT ENTITLEMENT	INTEREST UPON DESTRUCTION	NUMBER OF VOTES
181	27	5,6,7,8,9	1,112	1,712	1
182	28	5,6,7,8,9	1,110	1,642	1
183	29	5,6,7,8,9	1,112	1,676	1
184	30	5,6,7,8,9	1,113	1,655	1
185	31	5,6,7,8,9	1,112	1,655	1
186	32	5,6,7,8,9	1,109	1,735	1
187	33	5,6,7,8,9	1,112	2,125	1
188	34	5,6,7,8,9	1,110	2,015	1
189	35	5,6,7,8,9	1,112	2,015	1
190	36	5,6,7,8,9	1,110	2,015	1
191	37	5,6,7,8,9	1,110	2,125	1
PHASE 3 AGGREGATE			12,222	20,370	11

PHASE 1 AGGREGATE	174,386	276,397	165
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PHASE 2 AGGREGATE	16,619	28,040	15
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SUM OF AGGREGATES PHASES 1 + 2 + 3	203,227	324,807	191
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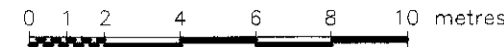
WAB
....., B.C.L.S.
MARCH 15, 2005

FILE: 2588-4
DWG.: 2087

Original

BUILDINGS LOCATION AND DIMENSIONS

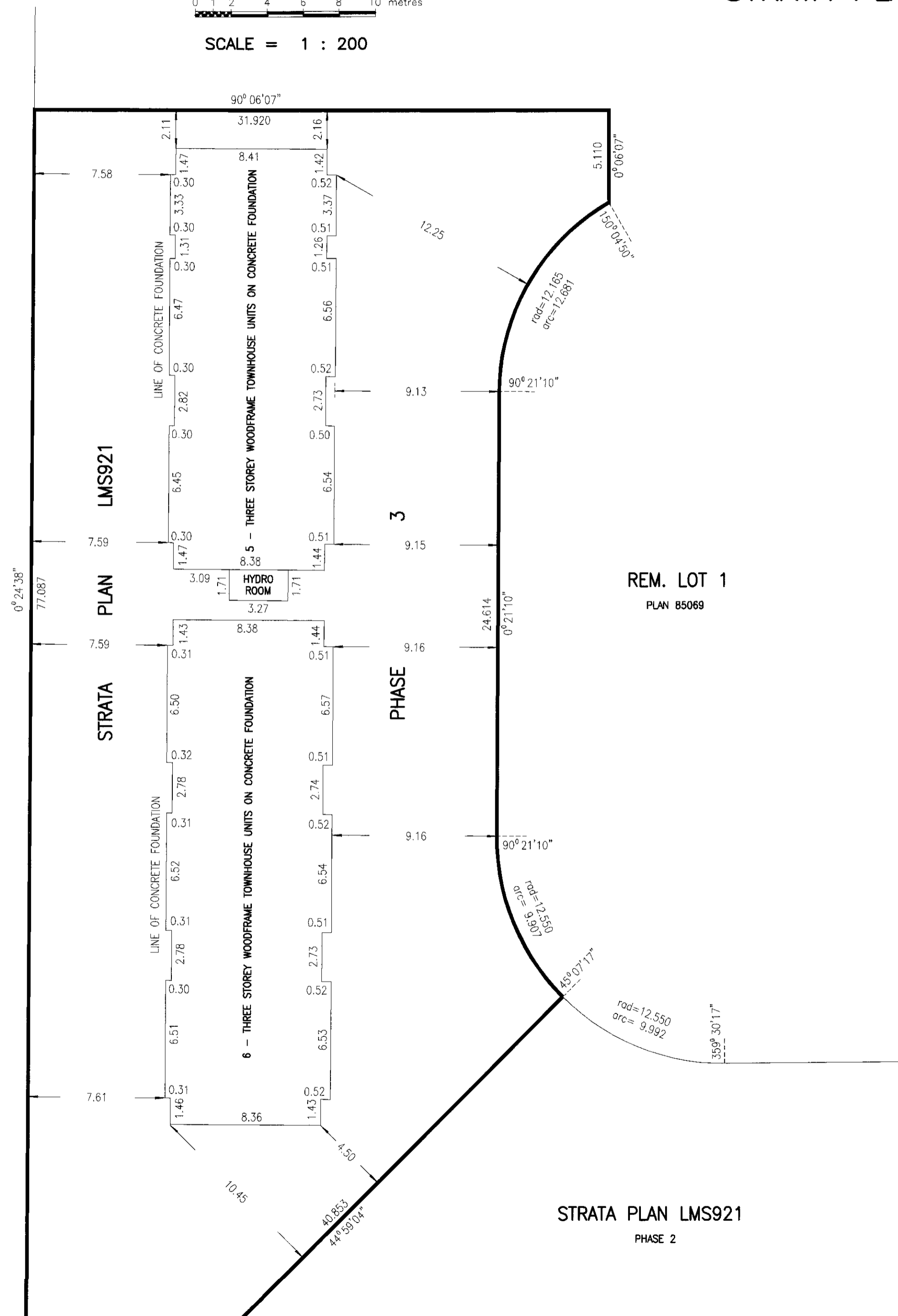
**PHASE 3
STRATA PLAN LMS 921**



SCALE = 1 : 200



148th Street



REM. LOT 1
PLAN B5069

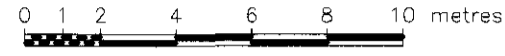
STRATA PLAN LMS921
PHASE 2

N.B.S.
....., B.C.L.S.
MARCH 15th, 2005
FILE: 2588-4
DWG: 2087

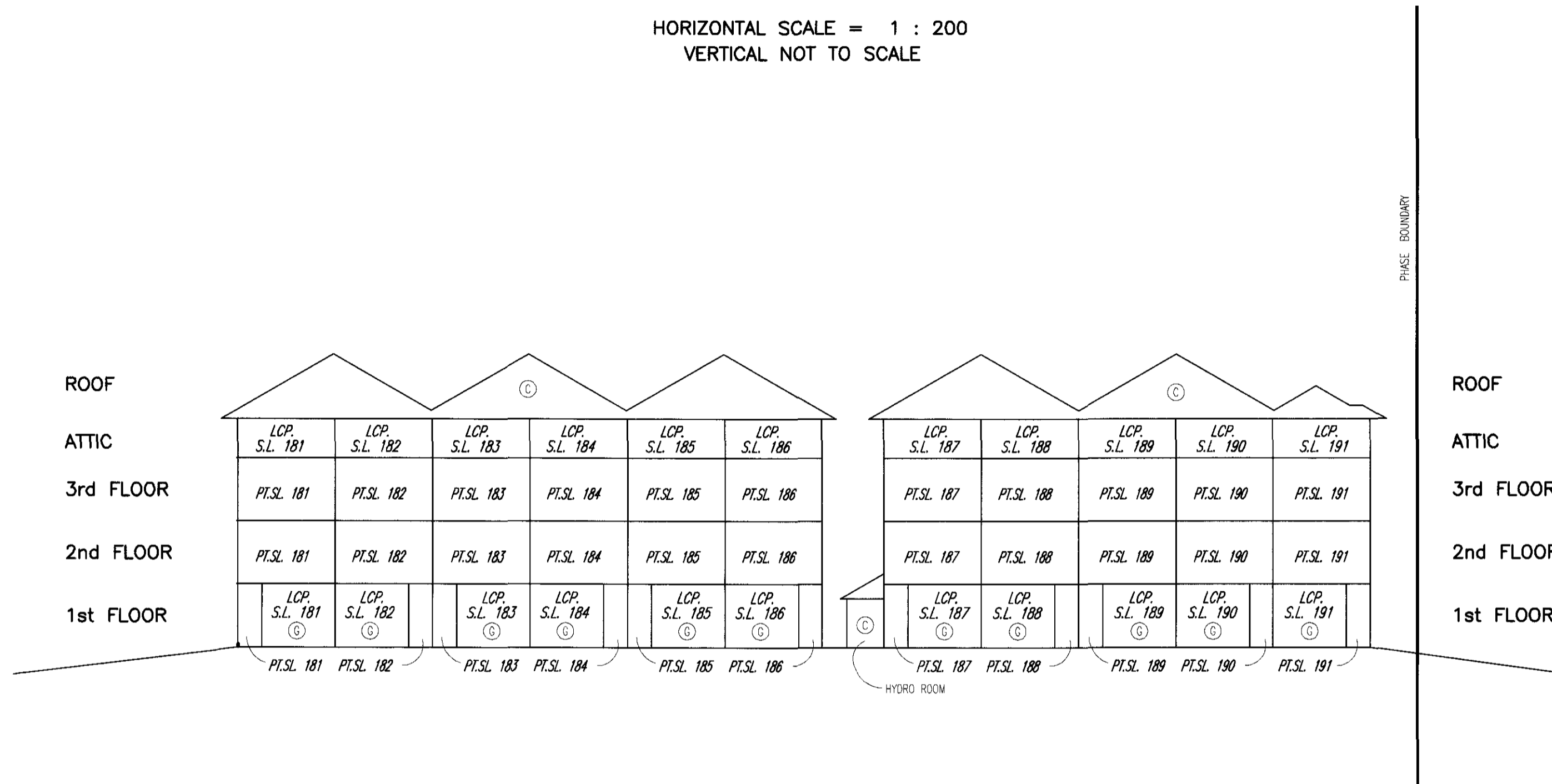
Original

PHASE 3
STRATA PLAN LMS 921
.....

SECTION 'A'-'A'



HORIZONTAL SCALE = 1 : 200
VERTICAL NOT TO SCALE



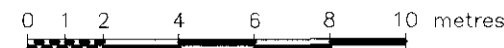
NKS
....., B.C.L.S.
MARCH 15th, 2005

FILE: 2588-4
DWG.: 2068

Original

PHASE 3 STRATA PLAN LMS 921

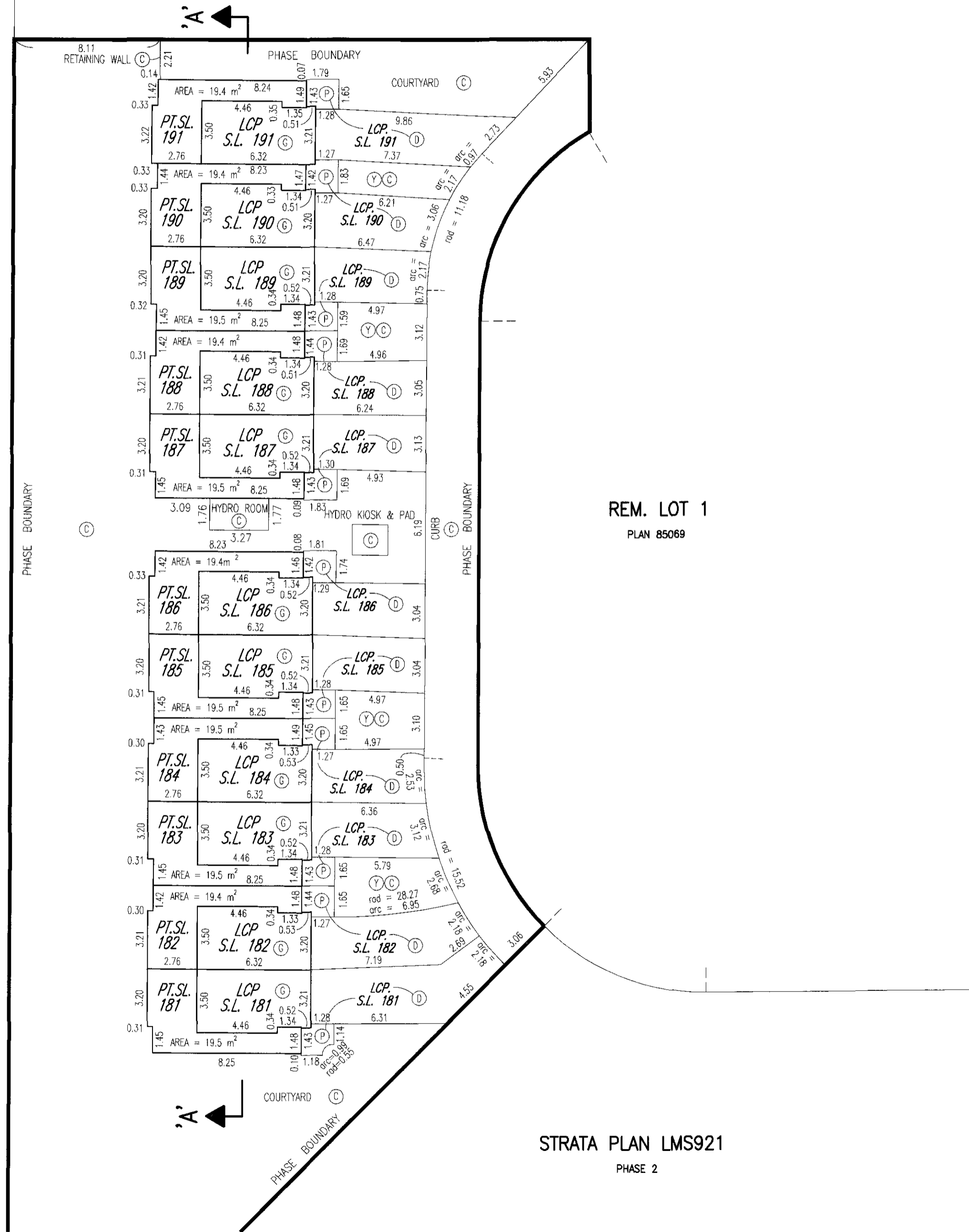
1st FLOOR



SCALE = 1 : 200



148th Street



REM. LOT 1
PLAN 85069

STRATA PLAN LMS921
PHASE 2

NLS., B.C.L.S.
MARCH 15th, 2005

FILE: 2588-4
DWG: 2087

Original

2nd FLOOR

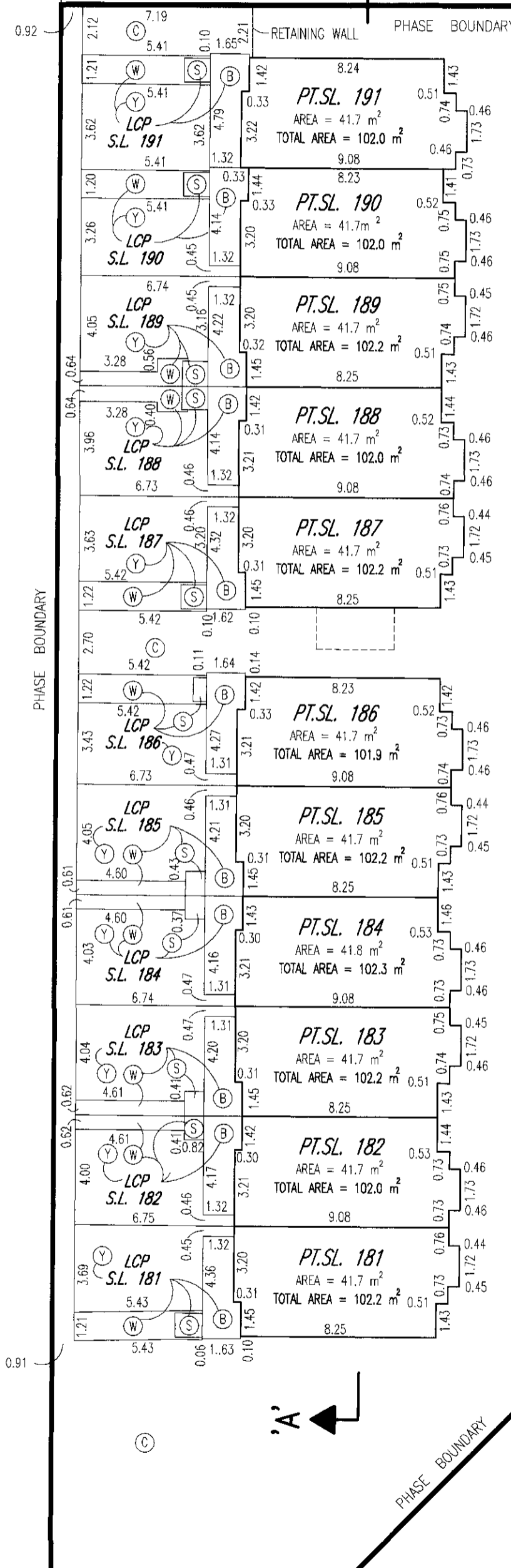
PHASE 3
STRATA PLAN LMS 921



SCALE = 1 : 200



148th Street



REM. LOT 1
PLAN 85069

STRATA PLAN LMS921
PHASE 2

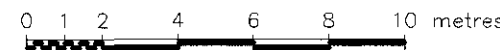
NUB. B.C.L.S.
MARCH 15th, 2005

FILE: 2588-4
DWG.: 2087

Original

3rd FLOOR

PHASE 3
STRATA PLAN LMS 921



SCALE = 1 : 200

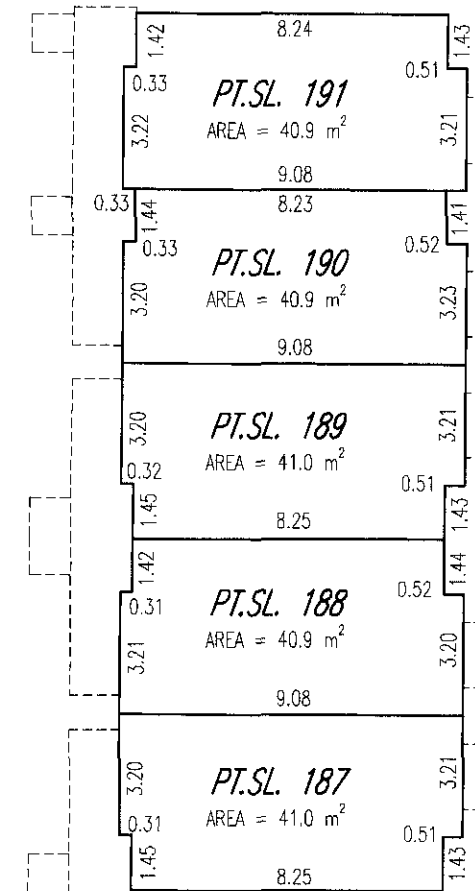


'A' ←

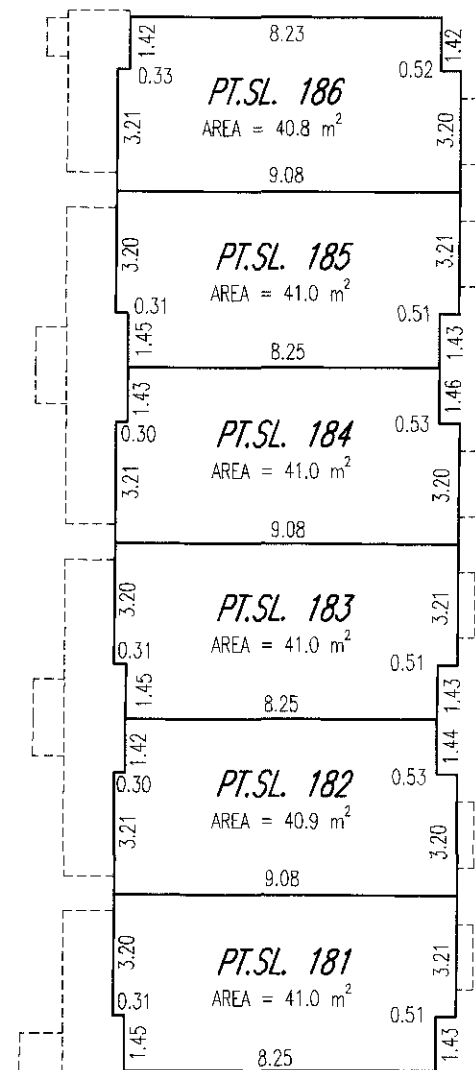
148th Street

PHASE BOUNDARY

NOTE: BROKEN LINES INDICATES OUTLINE OF DECKS AND STEPS ON FLOOR BELOW



NOTE: BROKEN LINES INDICATES OUTLINE OF FLOOR BELOW



'A' ←

PHASE BOUNDARY

REM. LOT 1
PLAN 85069

STRATA PLAN LMS921
PHASE 2

HUB B.C.L.S.
MARCH 15th, 2005

FILE: 2588-4
DWG.: 2087

Original

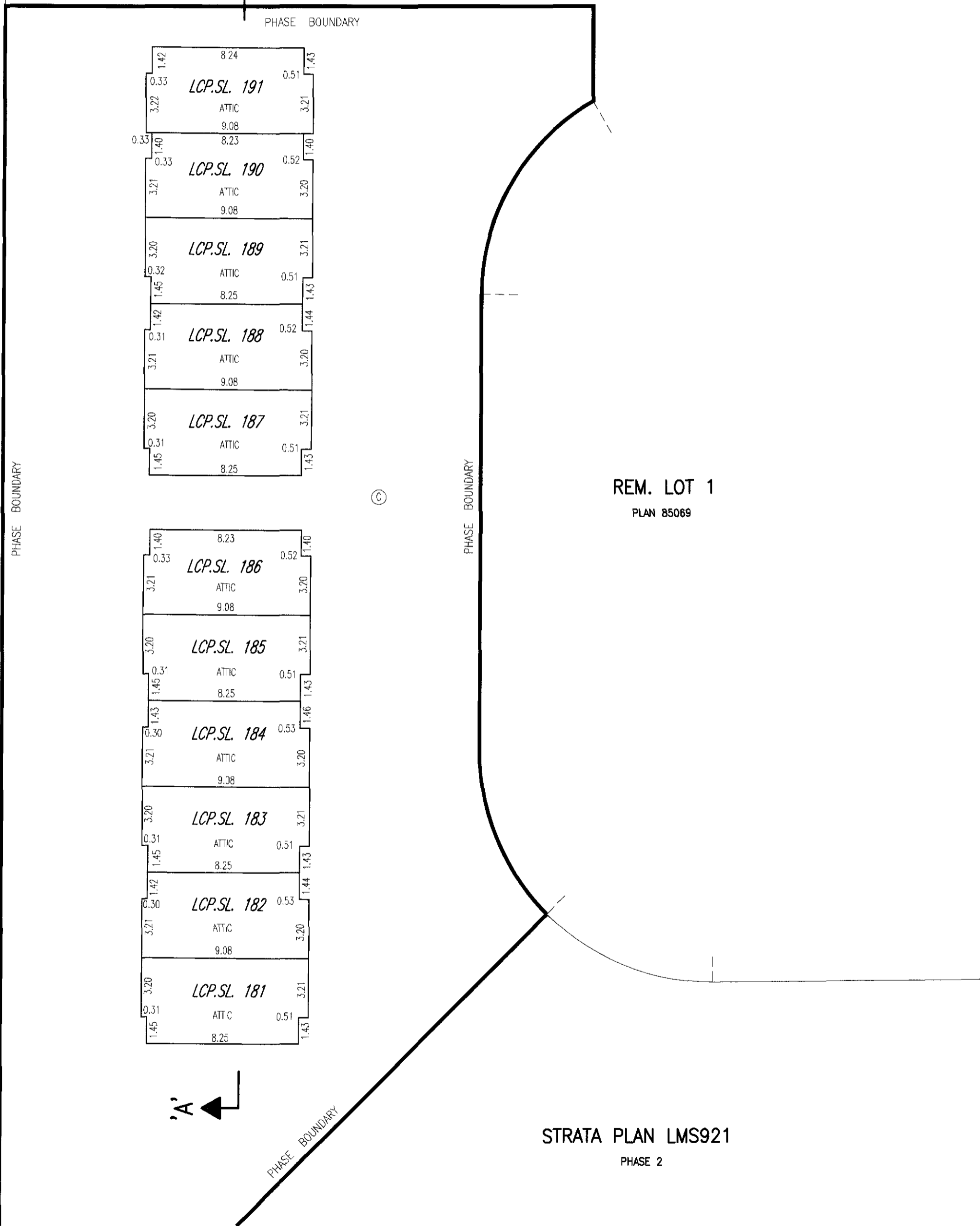
PHASE 3
STRATA PLAN LMS 921
.....



ATTIC
0 1 2 4 6 8 10 metres
SCALE = 1 : 200

'A' ←

148th Street



REM. LOT 1
PLAN 85069

STRATA PLAN LMS921
PHASE 2

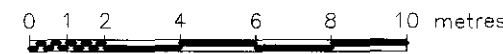
M.B.
....., B.C.L.S.
MARCH 15th, 2005

FILE: 2588-4
DWG.: 2087

Original

PHASE 3
STRATA PLAN LMS 921
.....

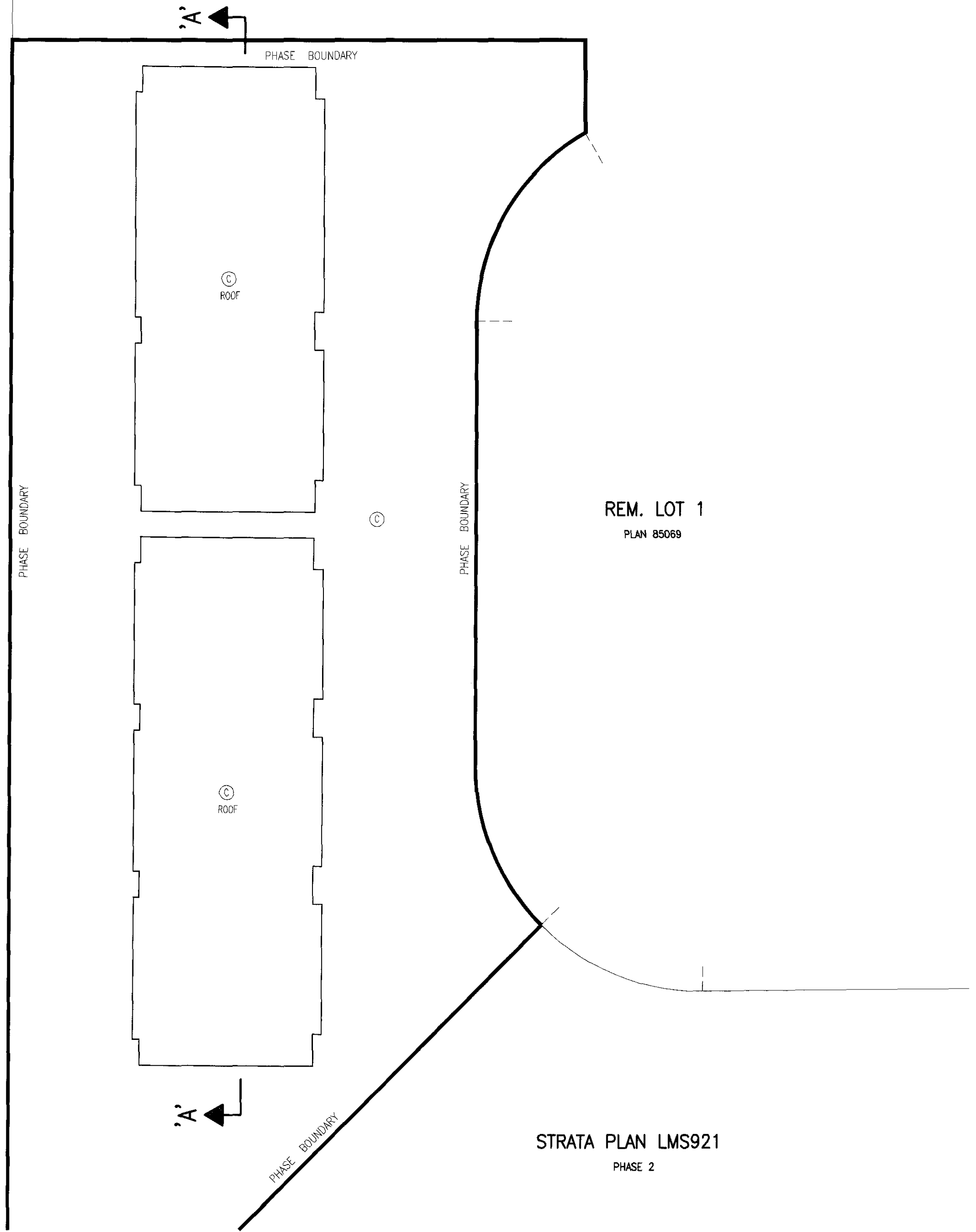
ROOF



SCALE = 1 : 200



148th Street



REM. LOT 1
PLAN 85069

STRATA PLAN LMS921
PHASE 2

N.B.
....., B.C.L.S.
MARCH 15th, 2005

FILE: 2588-4
DWG.: 2087

Original

STRATA PLAN OF PART OF LOT 1,
EXCEPT FIRSTLY: PHASE 1 STRATA PLAN LMS921,
EXCEPT SECONDLY: PHASE 2 STRATA PLAN LMS921,
EXCEPT THIRDLY: PHASE 3 STRATA PLAN LMS921,
SECTION 29, BLOCK 5 NORTH, RANGE 1 WEST,
NEW WESTMINSTER DISTRICT, PLAN 85069.

"THE CITY OF SURREY"
B.C.G.S. 92G.016

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT

PHASE 4
STRATA PLAN LMS 921

DEPOSITED IN THE LAND TITLE OFFICE AT
NEW WESTMINSTER, BRITISH COLUMBIA.
THIS 31 DAY OF MARCH, 2005

J. Mac Donald ICP.
DEPUTY REGISTRAR

"GUILDFORD PARK PLACE"

CIVIC ADDRESS:

14855 - 100th Avenue
SURREY, B.C.

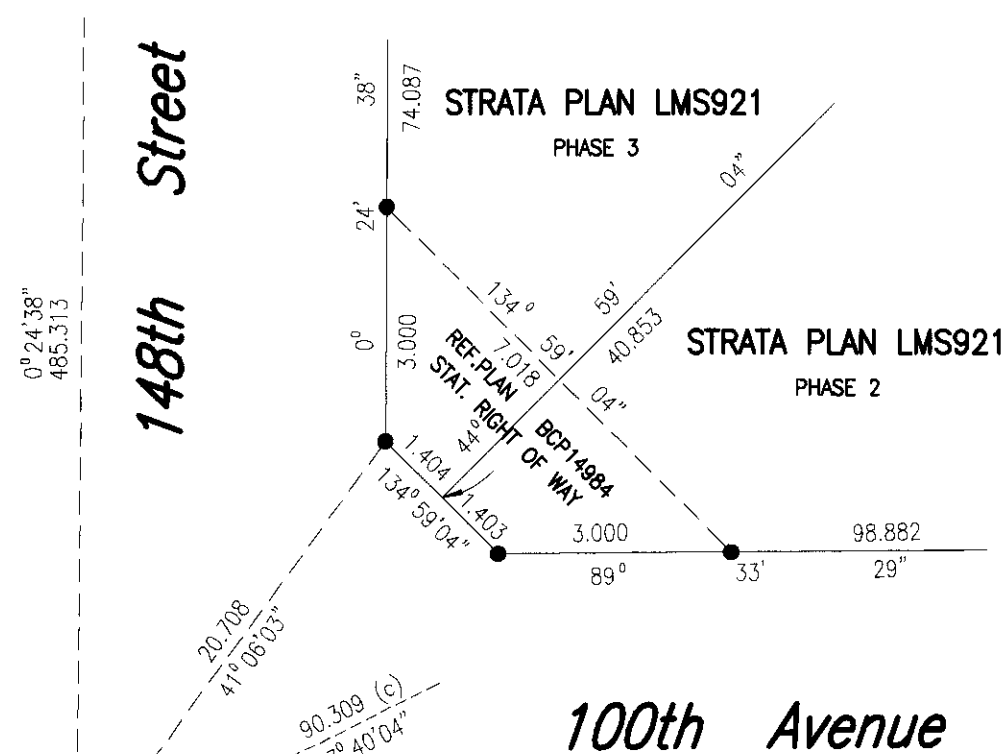
LEGEND:

- ⊙ INDICATES CONTROL MONUMENT FOUND
- INDICATES STANDARD IRON POST FOUND
- INDICATES LEAD PLUG PLACED
- m² INDICATES SQUARE METRES
- c INDICATES CALCULATED
- S.L. INDICATES STRATA LOT
- L.C.P. INDICATES LIMITED COMMON PROPERTY
- PT. INDICATES PART
- ⊙ INDICATES COMMON PROPERTY
- ⊙ INDICATES GARAGE
- ⊙ INDICATES WALKWAY
- ⊙ INDICATES YARD
- ⊙ INDICATES CONCRETE PAD
- ⊙ INDICATES DRIVEWAY
- ⊙ INDICATES STAIRS
- ⊙ INDICATES DECK

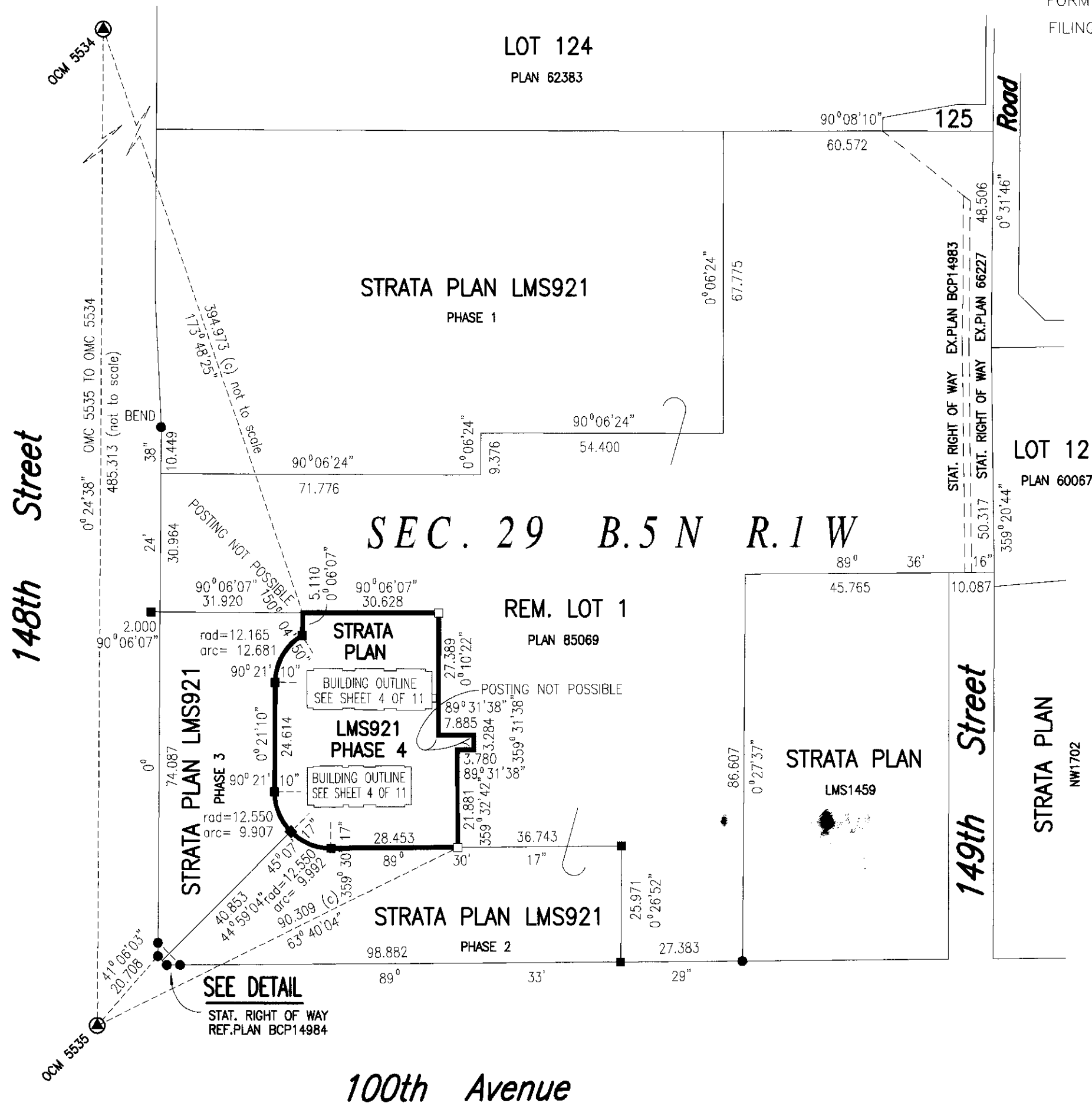
NOTES:

- ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE INDICATED.
- GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN CONTROL MONUMENTS 5534 AND 5535, NAD 83 (CSRS).
- THIS PLAN SHOWS GROUND LEVEL MEASURED DISTANCES. PRIOR TO COMPUTATION OF U.T.M. COORDINATES, MULTIPLY BY COMBINED FACTOR 0.99958955.

INTEGRATED SURVEY AREA No. 1, CITY OF SURREY.

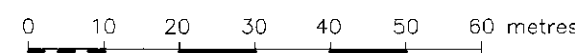


DETAIL
NOT TO SCALE



100th Avenue

PLAN



SCALE = 1 : 1000

FORM "P" BX314425
FILING No.:

I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR OF DELTA IN BRITISH COLUMBIA CERTIFY THAT I WAS PRESENT AT AND PERSONALLY SUPERINTENDED THE SURVEY REPRESENTED BY THIS PLAN AND THAT THE SURVEY AND PLAN ARE CORRECT. THE FIELD SURVEY WAS COMPLETED ON THE 11th DAY OF MARCH, 2005. THE PLAN WAS COMPLETED AND CHECKED, AND THE CHECKLIST FILED UNDER # ECP-28674, ON THE 17th DAY OF MARCH, 2005.

M. H. Schulze
.....B.C.L.S.
MARTIN HANS SCHULZE

THE ADDRESS FOR SERVICE OF DOCUMENTS ON THE STRATA CORPORATION IS:

THE OWNERS, STRATA PLAN LMS921
c/o CLARK, WILSON, BARRISTERS & SOLICITORS
800 - 885 WEST GEORGIA STREET
VANCOUVER, B.C., CANADA
V6C 3H1

SCHULZE & ASSOCIATES

LEGAL AND ENGINEERING SURVEYS
P.O. Box 19146, 1153 - 56th Street
DELTA, B.C. V4L 2P8
TEL: (604)522-1616 FAX: (604)943-5054
e-mail: schulze@telus.net

FILE: 2588-4 DWG: 2088 REV: 0

PHASE 4
STRATA PLAN LMS 921
.....

SIGNATURES

OWNER/DEVELOPER

GUILDFORD PARK ENTERPRISES LTD.
(INCORPORATION No. 348458)

Allen Lai
AUTHORIZED SIGNATORY
Allen Lai

ACCEPTED AS TO FORMS 1 AND 2

THIS 29TH DAY OF MARCH, 2005

FOR Pete If
SUPERINTENDENT OF REAL ESTATE

AUTHORIZED SIGNATORY

Jane Glanville
WITNESS AS TO ABOVE SIGNATURES
Jane Glanville

600-885 West Georgia Street
ADDRESS OF WITNESS
Vancouver, BC

Lawyer
OCCUPATION OF WITNESS

SECTION 8 (2)
CERTIFICATE OF APPROVAL

I HEREBY CERTIFY THAT THE COMMON FACILITIES WHICH ACCORDING TO FORM 'P' OF THE ACT WERE TO HAVE BEEN CONSTRUCTED IN CONJUNCTION WITH THIS PHASE, HAVE BEEN SATISFACTORILY PROVIDED FOR.

THIS 30TH DAY OF March, 2005.

J. Robich
APPROVING OFFICER
CITY OF SURREY

APPROVED AS TO PHASE 4 OF A 10 PHASE STRATA PLAN UNDER THE CONDOMINIUM ACT.

THIS 30TH DAY OF March, 2005.

J. Robich
APPROVING OFFICER
CITY OF SURREY

MORTGAGEE

HSBC BANK CANADA

Paul Mathieson
AUTHORIZED SIGNATORY
Paul Mathieson

Vince Prosecco
AUTHORIZED SIGNATORY
VINCE PROSECCO

Sandy Hayer
WITNESS AS TO ABOVE SIGNATURES
SANDY HAYER

200-885 W. GEORGIA ST.
ADDRESS OF WITNESS
VANCOUVER, BC.

SR. COMMERCIAL FINANCIAL
OCCUPATION OF WITNESS
SERVICES OFFICER

I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR CERTIFY THAT THE BUILDINGS INCLUDED IN THIS STRATA PLAN HAVE NOT, AS OF MARCH 15, 2005 BEEN PREVIOUSLY OCCUPIED.

Martin Schulze
B.C.L.S.

STATUTORY DECLARATION

I, THE UNDERSIGNED DO SOLEMNLY DECLARE THAT
1) I, THE UNDERSIGNED AM THE DULY AUTHORIZED AGENT OF THE OWNER/DEVELOPER.
2) THE STRATA PLAN IS ENTIRELY FOR RESIDENTIAL USE.
I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

Allen Lai
Allen Lai

DECLARED BEFORE ME AT
IN THE PROVINCE OF BRITISH COLUMBIA
THIS 18 DAY OF March, 2005.

Jane Glanville
A COMMISSIONER FOR PAKI...
WITHIN THE PROVINCE OF BRITISH COLUMBIA
Jane Glanville

I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR CERTIFY THAT THE BUILDINGS SHOWN ON THIS STRATA PLAN ARE WITHIN THE EXTERNAL BOUNDARIES OF THE LAND THAT IS THE SUBJECT OF THE STRATA PLAN.
DATE: MARCH 17th, 2005.

Martin Schulze
B.C.L.S.

MHS
....., B.C.L.S.
MARCH 17th, 2005

PHASE 4
STRATA PLAN LMS 921
.....

CONDOMINIUM ACT

STRATA LOT No.	UNIT No. (ADDRESS)	SHEET No.	FORM 1	FORM 2	FORM 3
			SCHEDULE OF UNIT ENTITLEMENT	SCHEDULE OF INTEREST UPON DESTRUCTION	SCHEDULE OF VOTING RIGHTS
			UNIT ENTITLEMENT	INTEREST UPON DESTRUCTION	NUMBER OF VOTES
192	22	5,6,7,8,9,10	1,450	2,685	1
193	23	5,6,7,8,9,10	1,452	2,575	1
194	24	5,6,7,8,9,10	1,448	2,575	1
195	25	5,6,7,8,9,10	1,450	2,575	1
196	26	5,6,7,8,9,10	1,452	2,685	1
197	38	5,6,7,8,9,10	1,448	2,278	1
198	39	5,6,7,8,9,10	1,450	2,428	1
199	40	5,6,7,8,9,10	1,449	2,428	1
200	41	5,6,7,8,9,10	1,450	2,163	1
201	42	5,6,7,8,9,10	1,449	2,178	1
202	43	5,6,7,8,9,10	1,452	2,550	1
PHASE 4 AGGREGATE			15,950	27,120	11

PHASE 1 AGGREGATE	174,386	276,397	165
--------------------------	----------------	----------------	------------

PHASE 2 AGGREGATE	16,619	28,040	15
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PHASE 3 AGGREGATE	12,222	20,370	11
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SUM OF AGGREGATES PHASES 1+2+3+4	219,177	351,927	202
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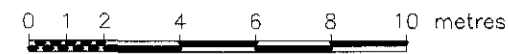
LMS, B.C.L.S.
MARCH 17th, 2005

FILE: 2588-4
DWG.: 2088

Original

PHASE 4
STRATA PLAN LMS 921
.....

BUILDINGS LOCATION AND DIMENSIONS



SCALE = 1 : 200

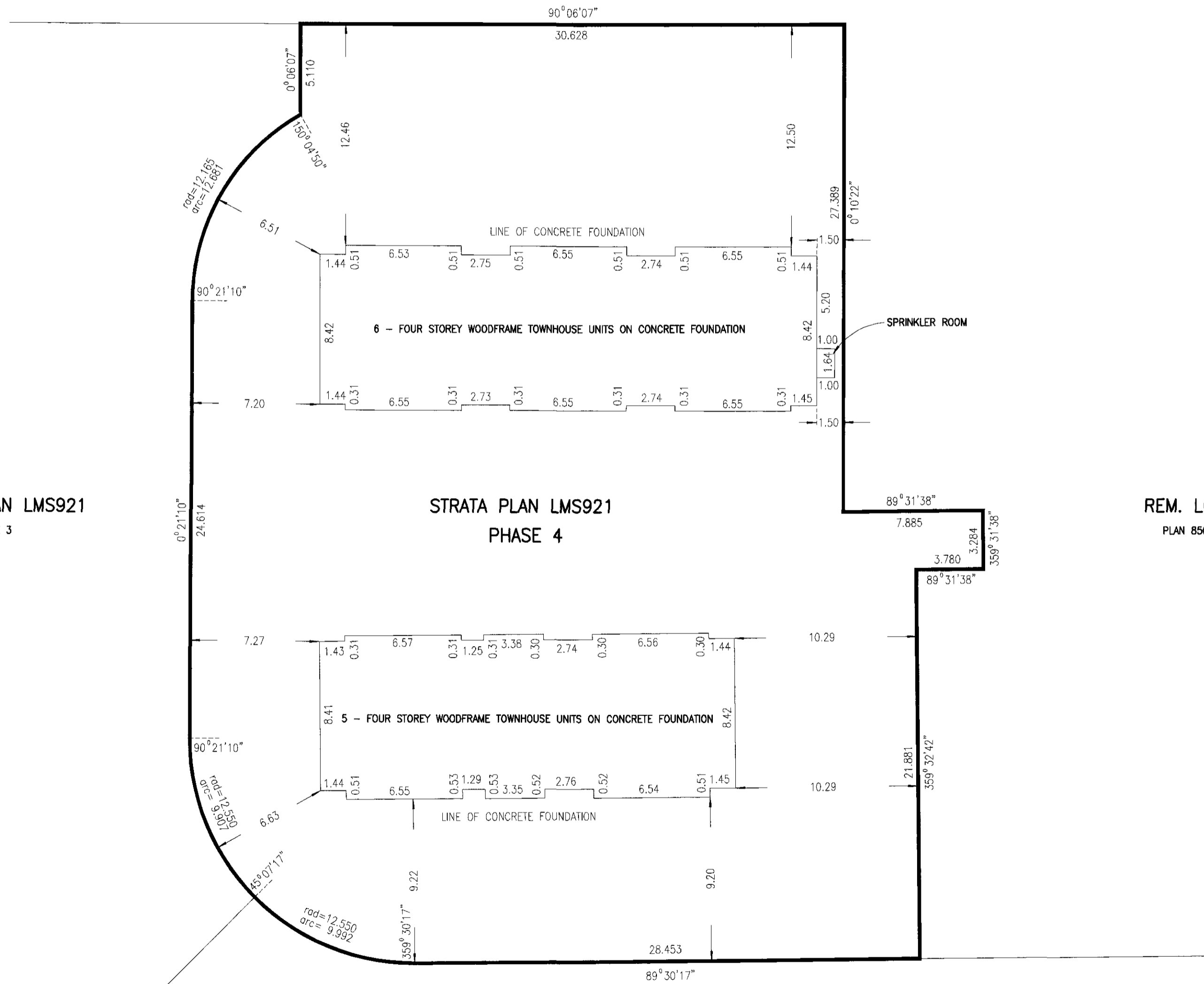


STRATA PLAN LMS921
PHASE 3

STRATA PLAN LMS921
PHASE 4

REM. LOT 1
PLAN 85069

STRATA PLAN LMS921
PHASE 2



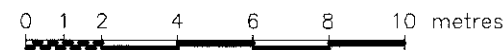
MBS
B.C.L.S.
MARCH 17th, 2005

FILE: 2588-4
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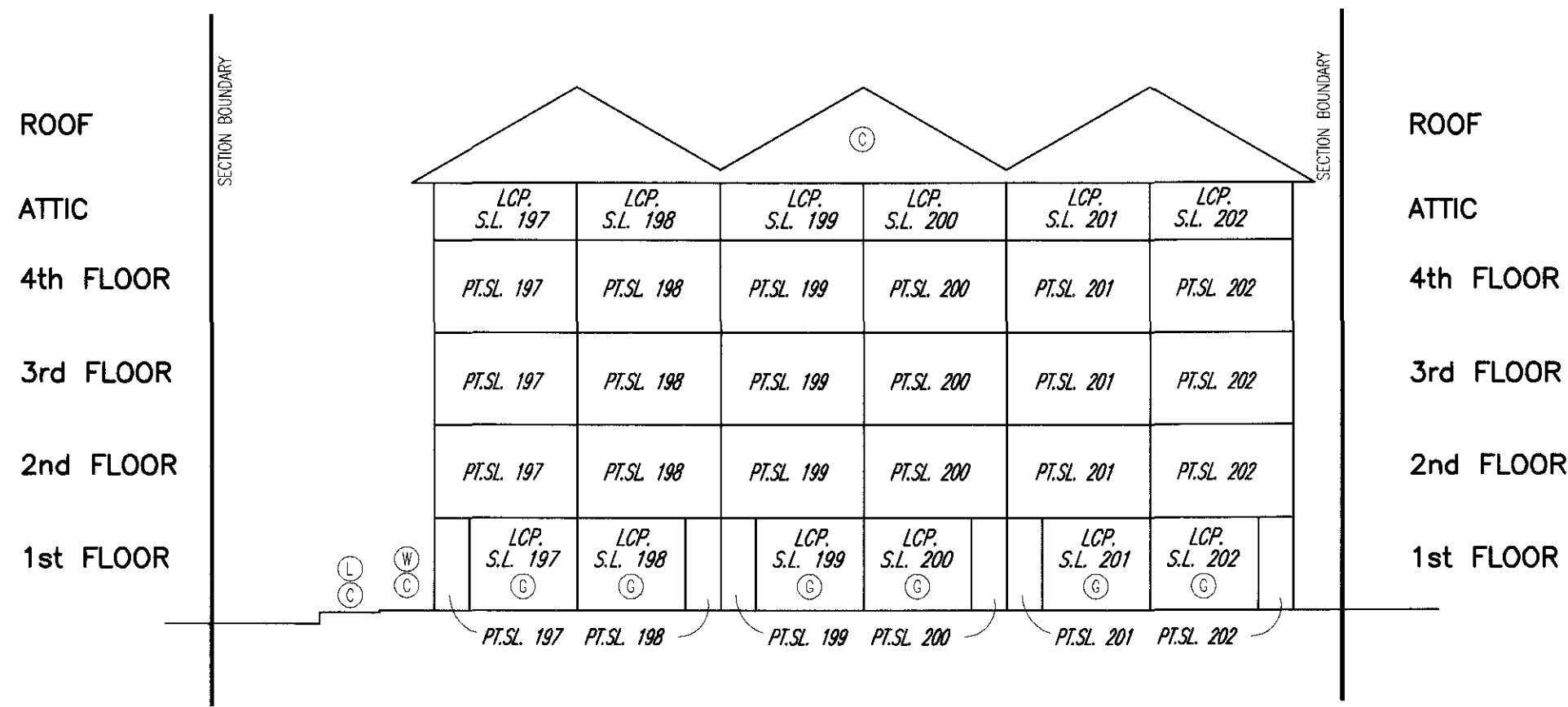
Original

PHASE 4
STRATA PLAN LMS 921
.....

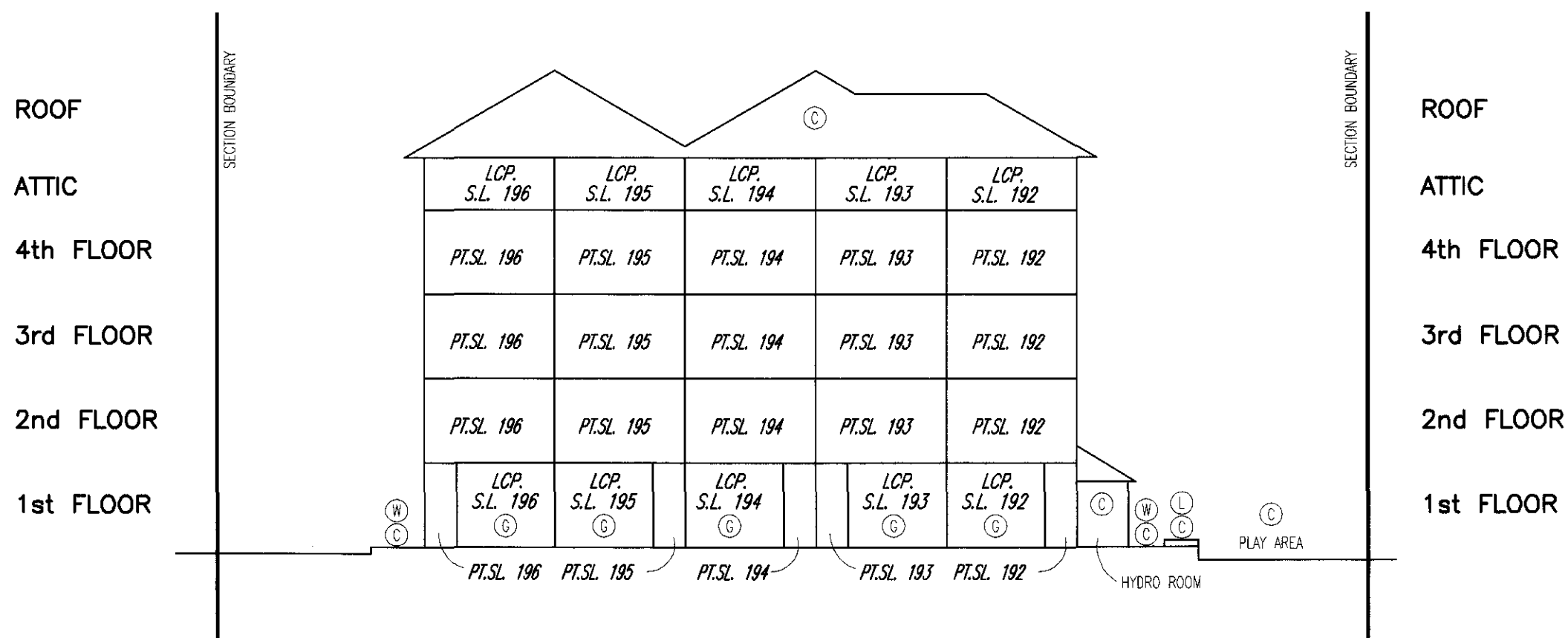
SECTIONS



HORIZONTAL SCALE = 1 : 200
VERTICAL NOT TO SCALE



SECTION 'B'-'B'



SECTION 'A'-'A'

LMS. B.C.L.S.
MARCH 17th, 2005

FILE: 2588-4

DWG.: 2088

Original

PHASE 4 STRATA PLAN LMS 921

1st FLOOR

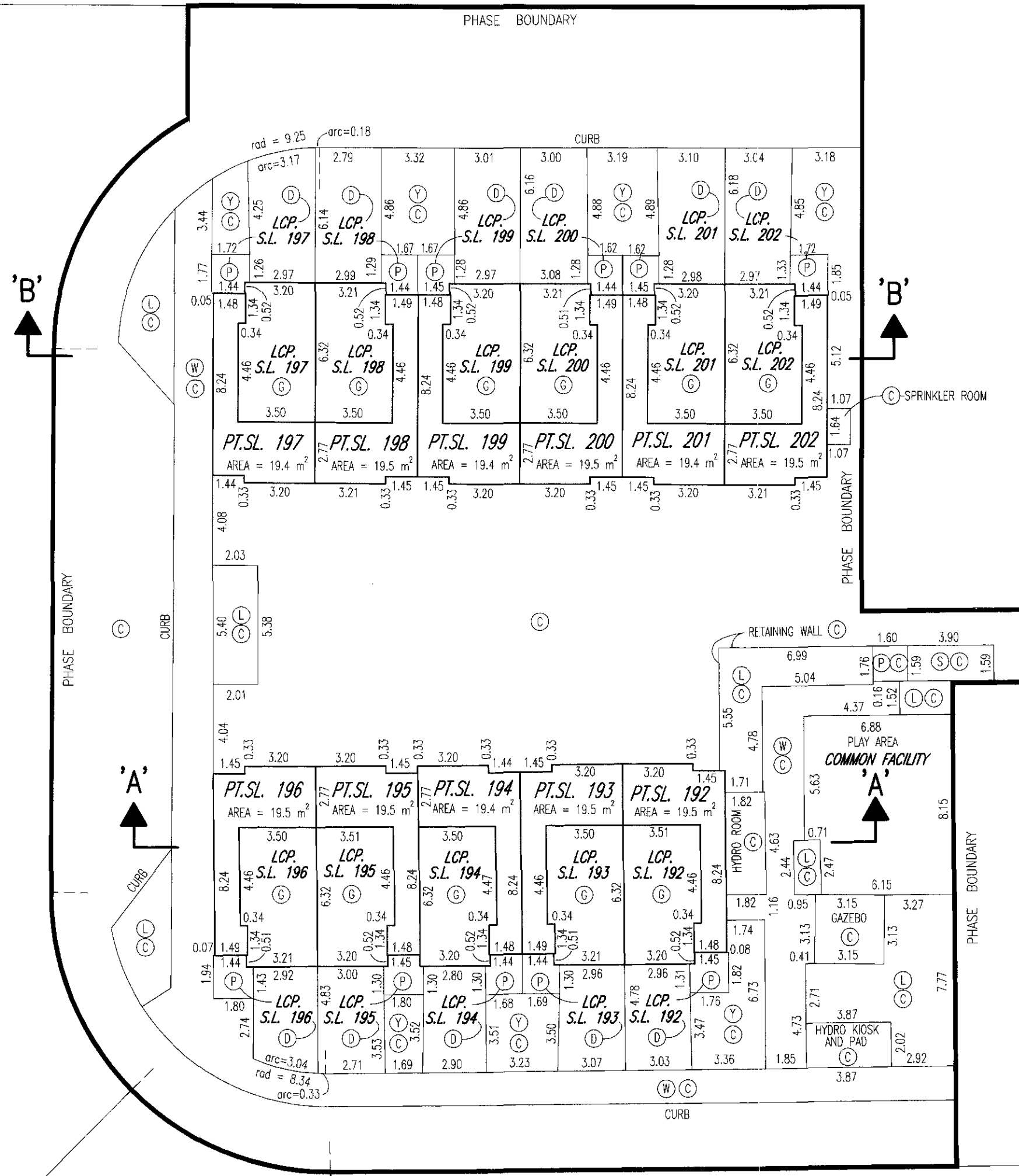
0 1 2 4 6 8 10 metres

SCALE = 1 : 200



STRATA PLAN LMS921
PHASE 3

REM. LOT 1
PLAN 85069



STRATA PLAN LMS921
PHASE 2

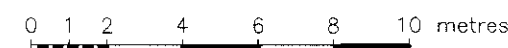
MLMS
....., B.C.L.S.
MARCH 17th, 2005

FILE: 2588-4
DWG: 2088

Original

PHASE 4 STRATA PLAN LMS 921

2nd FLOOR

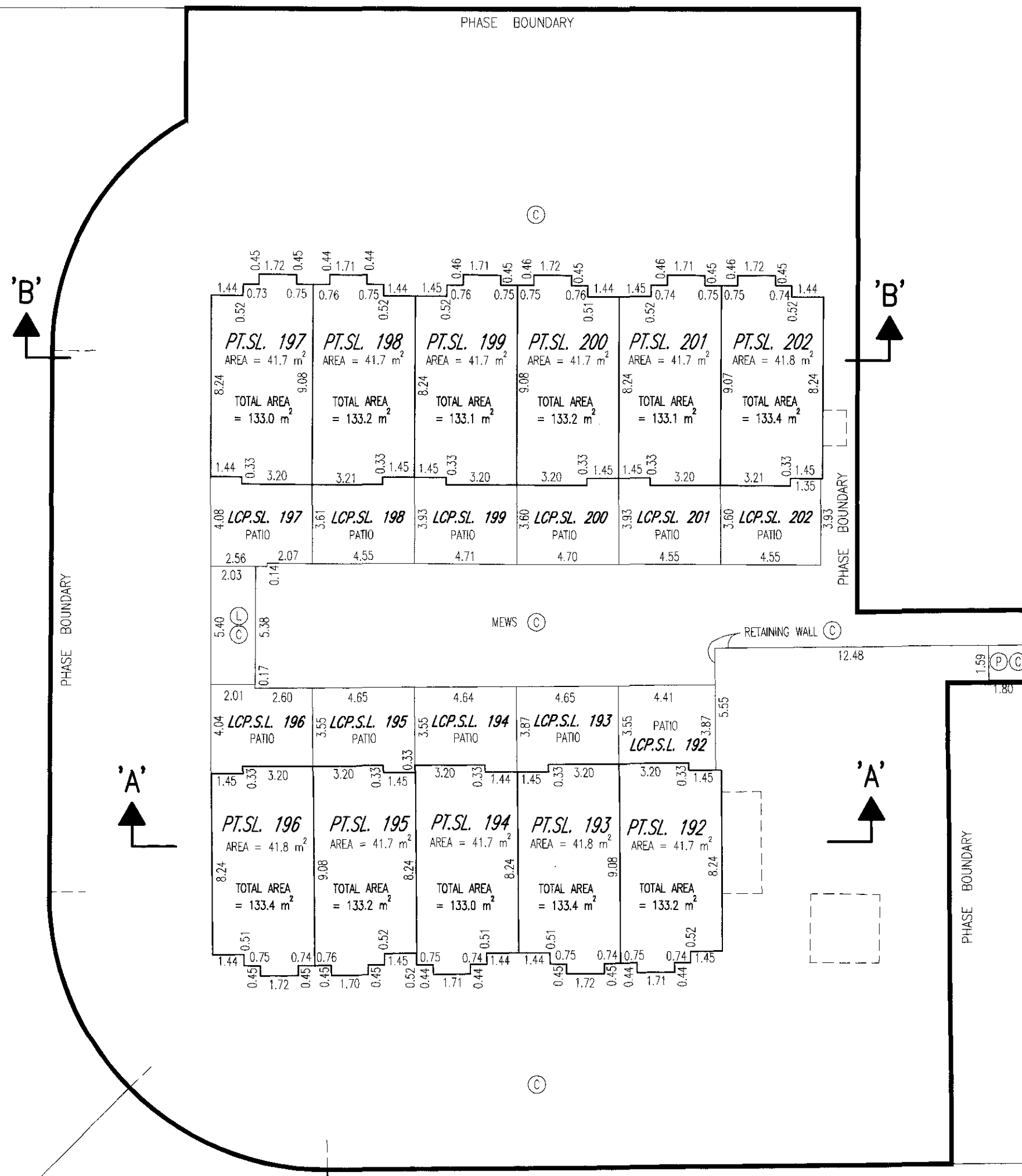


SCALE = 1 : 200



STRATA PLAN LMS921
PHASE 3

REM. LOT 1
PLAN 85069



STRATA PLAN LMS921
PHASE 2

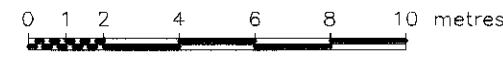
LMS
B.C.L.S.
MARCH 17th, 2005

FILE: 2588-4
DWG.: 2088

Original

PHASE 4 STRATA PLAN LMS 921

3rd FLOOR

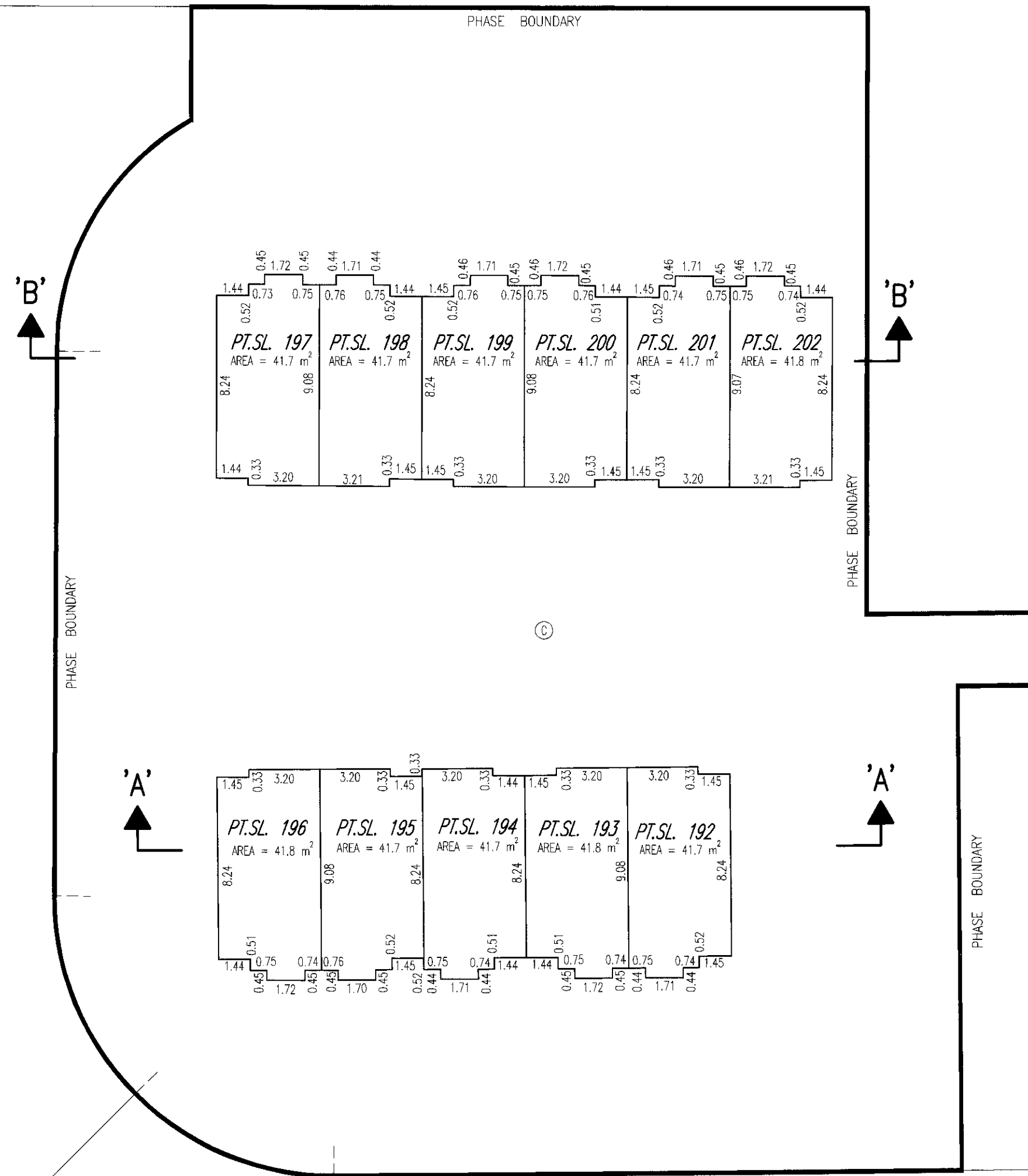


SCALE = 1 : 200



STRATA PLAN LMS921
PHASE 3

REM. LOT 1
PLAN 85069



STRATA PLAN LMS921
PHASE 2

....., B.C.L.S.
MARCH 17th, 2005

FILE: 2588-4
DWG.: 2088

Original

PHASE 4 STRATA PLAN LMS 921

4th FLOOR

0 1 2 4 6 8 10 metres

SCALE = 1 : 200



STRATA PLAN LMS921
PHASE 3

REM. LOT 1
PLAN 85069

PHASE BOUNDARY

PHASE BOUNDARY

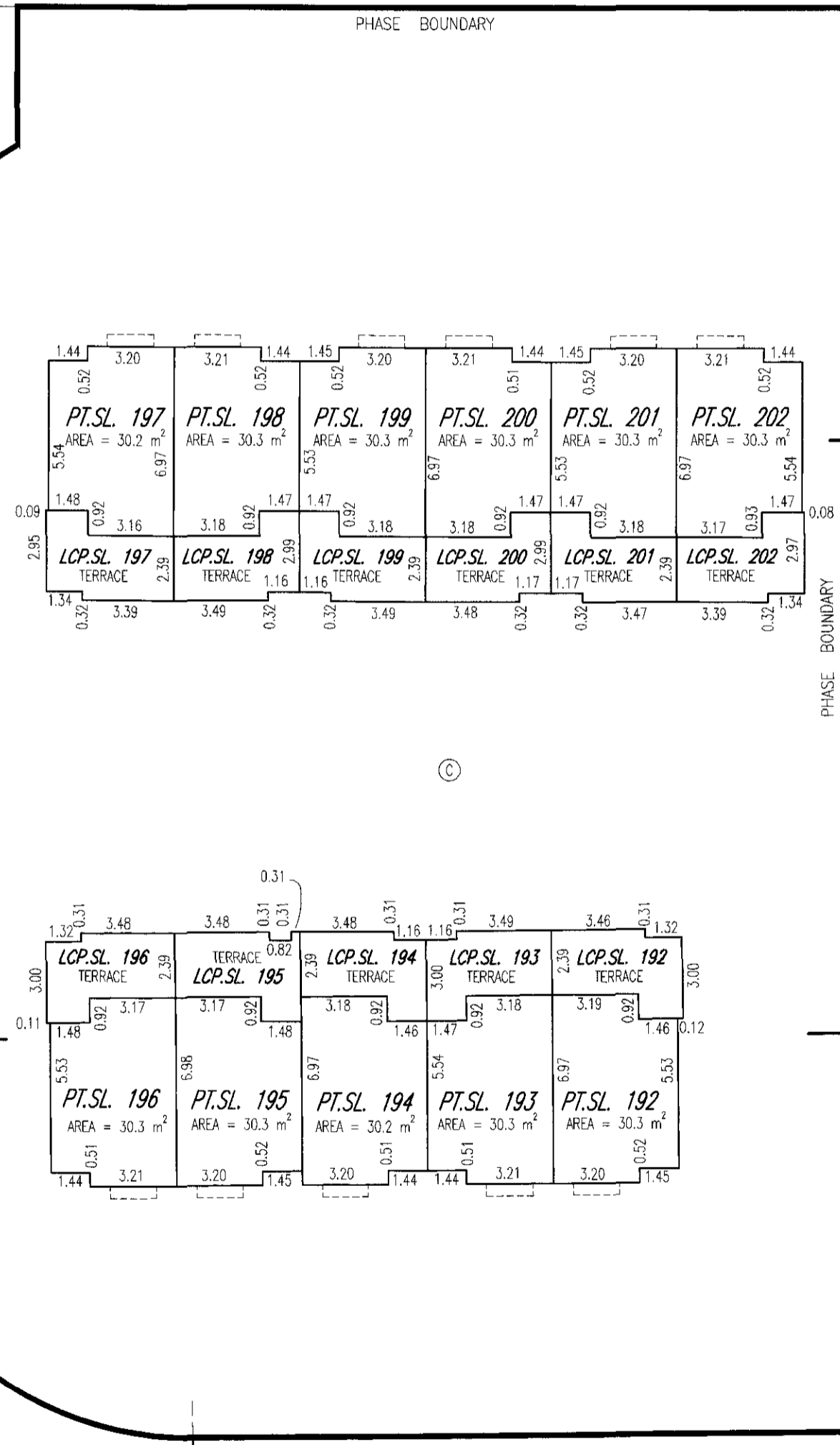
PHASE BOUNDARY

'A'

'A'

'B'

'B'



STRATA PLAN LMS921
PHASE 2

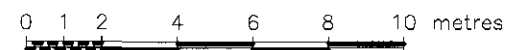
LMS.
B.C.L.S.
MARCH 17th, 2005

FILE: 2588-4
DWG.: 2088

Original

PHASE 4 STRATA PLAN LMS 921

ROOF

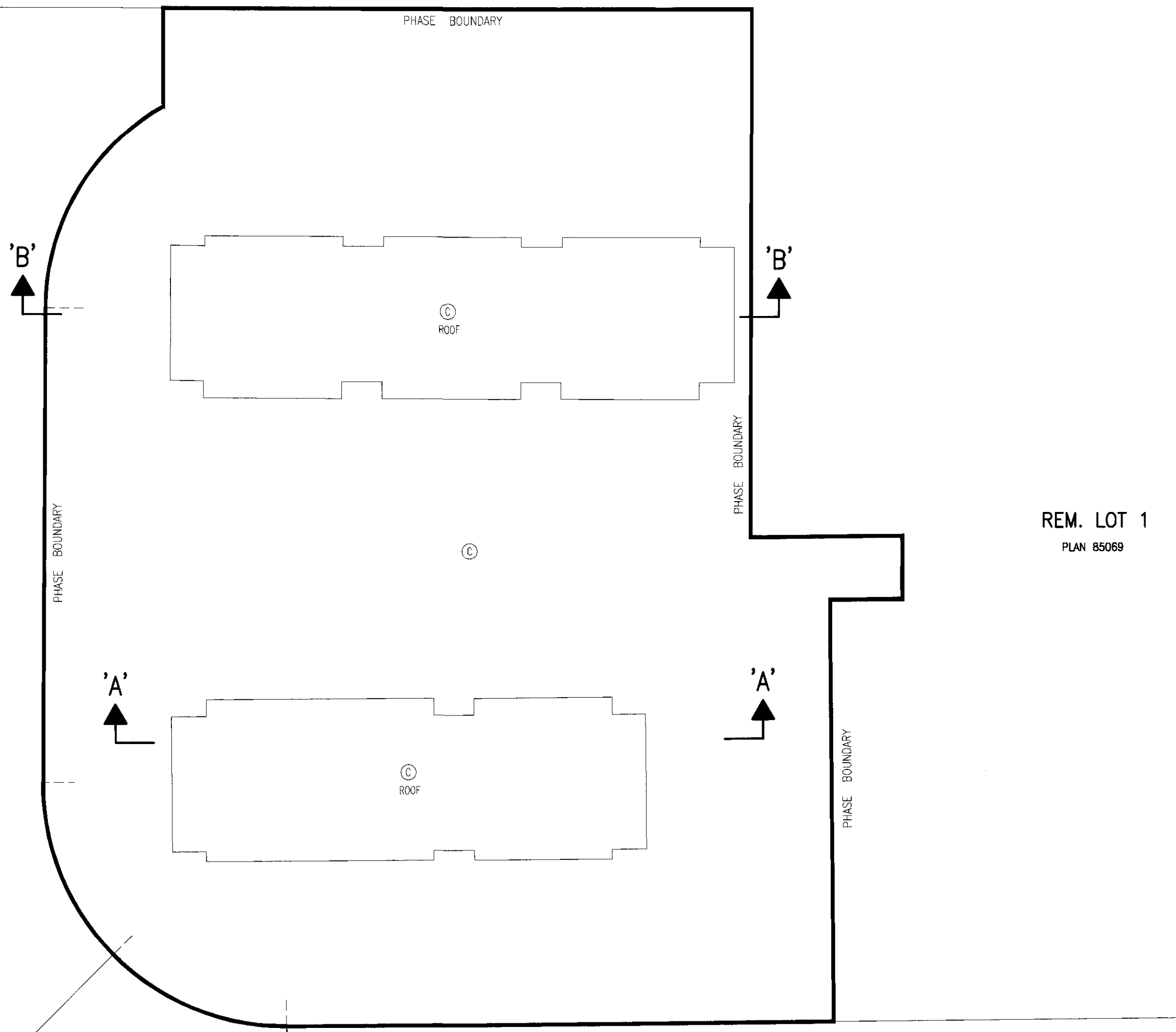


SCALE = 1 : 200



STRATA PLAN LMS921
PHASE 3

REM. LOT 1
PLAN 85069



STRATA PLAN LMS921
PHASE 2

LMS
....., B.C.L.S.
MARCH 17th, 2005

FILE: 2588-4
DWG.: 2088

Original

**STRATA PLAN OF PART OF LOT 1,
EXCEPT: PHASES 1 TO 4 STRATA PLAN LMS921,
SECTION 29, BLOCK 5 NORTH, RANGE 1 WEST,
NEW WESTMINSTER DISTRICT, PLAN 85069.**

"THE CITY OF SURREY"
B.C.G.S. 92G.016

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT

"GUILDFORD PARK PLACE"

CIVIC ADDRESS:

14859 - 100th Avenue
SURREY, B.C.

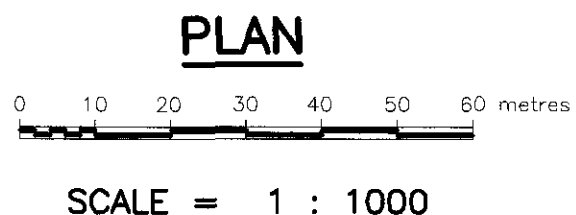
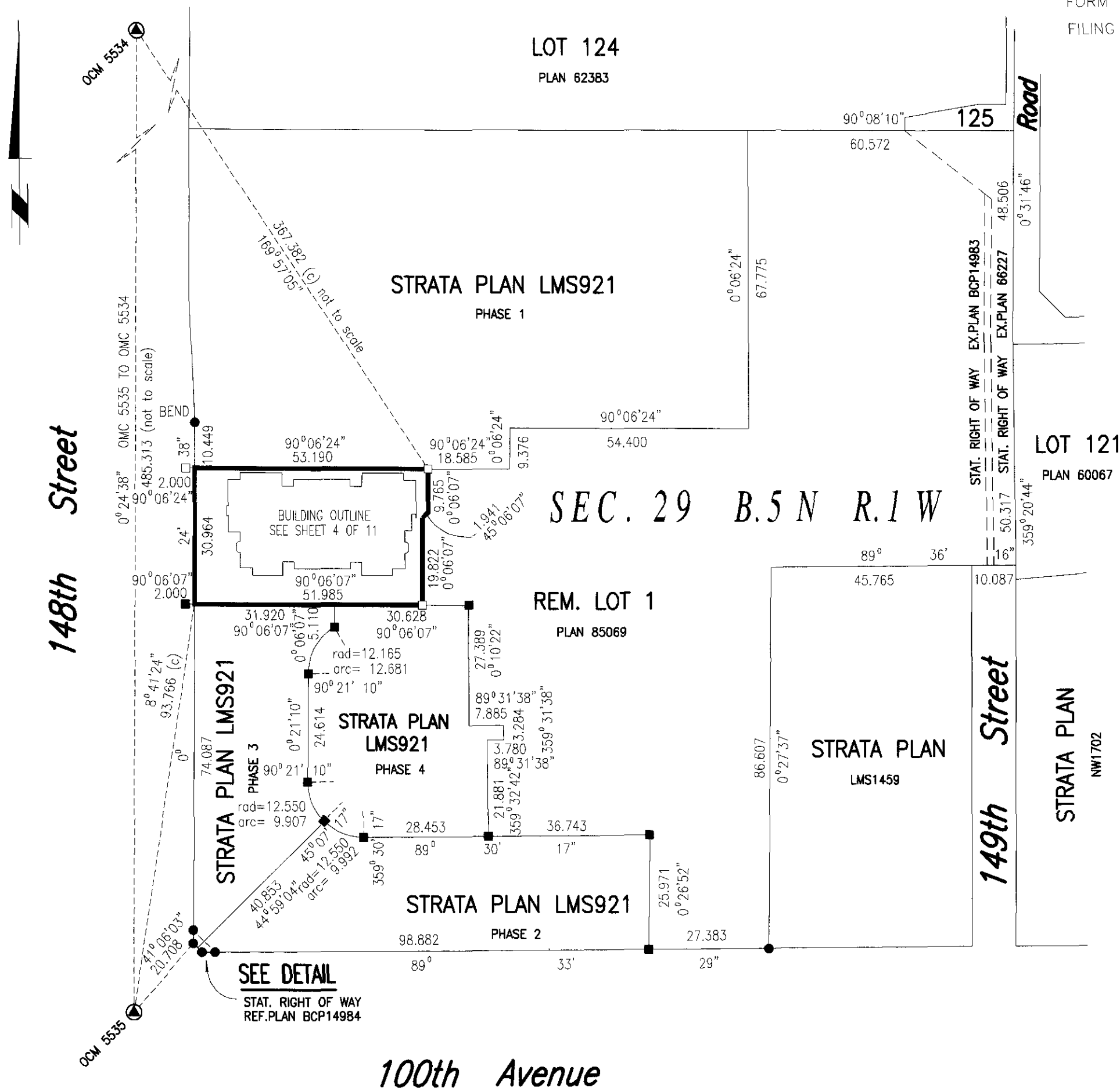
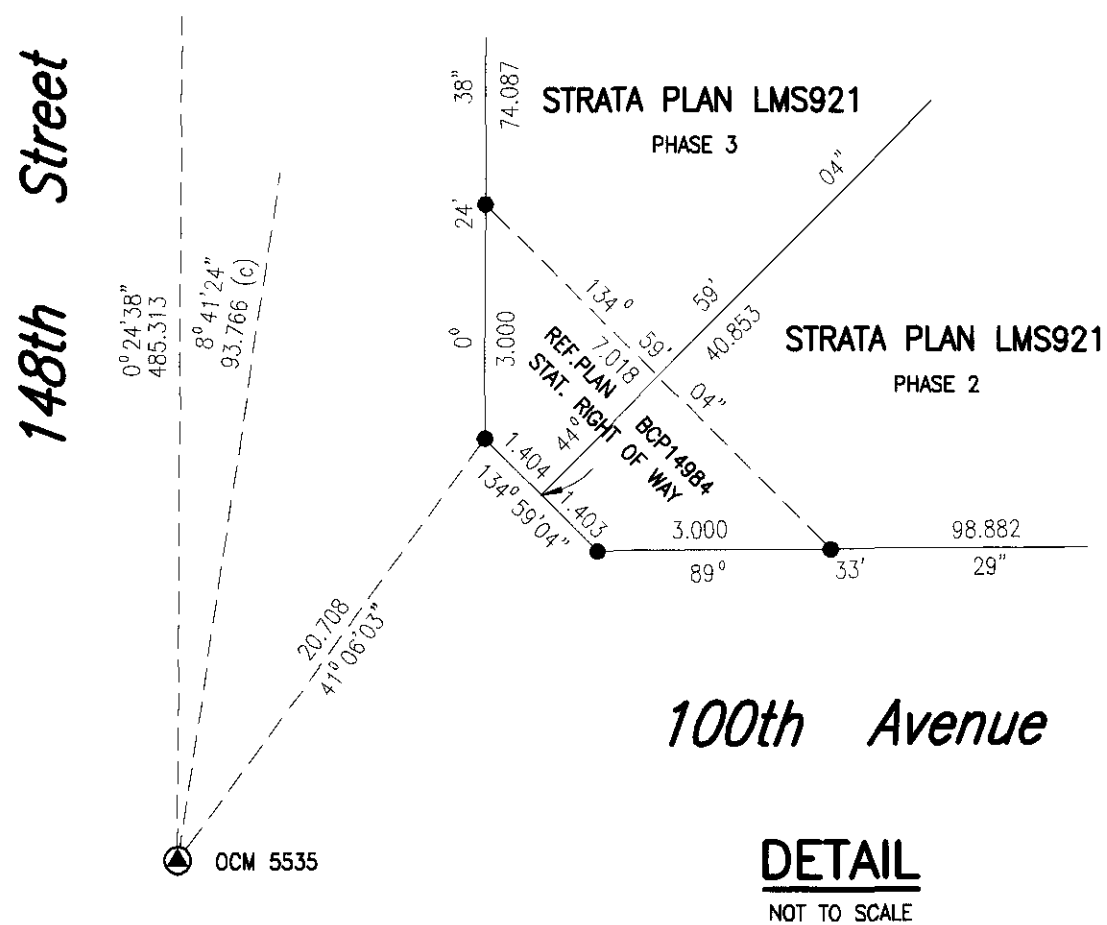
LEGEND:

- INDICATES CONTROL MONUMENT FOUND
- INDICATES STANDARD IRON POST FOUND
- INDICATES LEAD PLUG PLACED
- m² INDICATES SQUARE METRES
- c INDICATES CALCULATED
- S.L. INDICATES STRATA LOT
- L.C.P. INDICATES LIMITED COMMON PROPERTY
- PT. INDICATES PART
- INDICATES COMMON PROPERTY
- INDICATES GARAGE
- INDICATES WALKWAY
- INDICATES YARD
- INDICATES CONCRETE PAD
- INDICATES DRIVEWAY
- INDICATES STAIRS
- INDICATES DECK
- INDICATES STORAGE LOCKER

NOTES:

- ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE INDICATED.
- GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN CONTROL MONUMENTS 5534 AND 5535, NAD 83 (CSRS).
- THIS PLAN SHOWS GROUND LEVEL MEASURED DISTANCES. PRIOR TO COMPUTATION OF U.T.M. COORDINATES, MULTIPLY BY COMBINED FACTOR 0.99958955.

INTEGRATED SURVEY AREA No. 1, CITY OF SURREY.



**PHASE 5
STRATA PLAN LMS 921**

DEPOSITED IN THE LAND TITLE OFFICE AT
NEW WESTMINSTER, BRITISH COLUMBIA.
THIS 25 DAY OF MAY, 2005

J. MacDonald /cp
DEPUTY REGISTRAR
BX 142201 - BX 142248

FORM "P"
FILING No.:

I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR OF DELTA IN BRITISH COLUMBIA CERTIFY THAT I WAS PRESENT AT AND PERSONALLY SUPERINTENDED THE SURVEY REPRESENTED BY THIS PLAN AND THAT THE SURVEY AND PLAN ARE CORRECT. THE FIELD SURVEY WAS COMPLETED ON THE 6th DAY OF MAY, 2005. THE PLAN WAS COMPLETED AND CHECKED, AND THE CHECKLIST FILED UNDER # ECP-31127, ON THE 9th DAY OF MAY, 2005.

M. Schulze
..... B.C.L.S.
MARTIN HANS SCHULZE

THE ADDRESS FOR SERVICE OF DOCUMENTS ON THE STRATA CORPORATION IS:

THE OWNERS, STRATA PLAN LMS921
c/o CLARK, WILSON, BARRISTERS & SOLICITORS
800 - 885 WEST GEORGIA STREET
VANCOUVER, B.C., CANADA
V6C 3H1

SCHULZE & ASSOCIATES
LEGAL AND ENGINEERING SURVEYS
P.O. Box 19146, 1153 - 56th Street
DELTA, B.C. V4L 2P8
TEL: (604)522-1616 FAX: (604)943-5054
e-mail: schulze@telus.net
FILE: 2588-4 DWG.: 2094 REV.: 0

PHASE 5
STRATA PLAN LMS 921
.....

SIGNATURES

OWNER/DEVELOPER
GUILDFORD PARK ENTERPRISES LTD.
(INCORPORATION No. 348458)

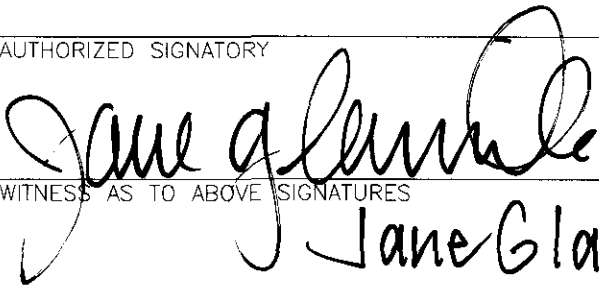
ACCEPTED AS TO FORMS 1 AND 2

THIS 22nd DAY OF May, 2005


AUTHORIZED SIGNATORY
Allen Lai


SUPERINTENDENT OF REAL ESTATE
ANA DIAS-GALVAO

AUTHORIZED SIGNATORY


WITNESS AS TO ABOVE SIGNATURES
Jane Glanville
800-885 West Georgia Street
Vancouver, BC V6C 3H1
ADDRESS OF WITNESS

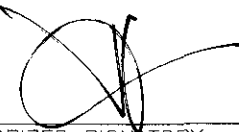
Lawyer
OCCUPATION OF WITNESS

APPROVED AS TO PHASE 5 OF A 10 PHASE STRATA PLAN
UNDER THE CONDOMINIUM ACT.

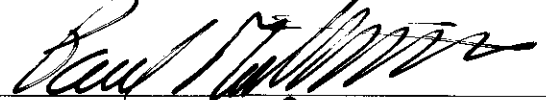
THIS 24th DAY OF May, 2005.

MORTGAGEE
HSBC BANK CANADA


APPROVING OFFICER
CITY OF SURREY
JUDITH ROBERTSON



AUTHORIZED SIGNATORY
JOHN DAVIS

STATUTORY DECLARATION


AUTHORIZED SIGNATORY
PAUL MATHESON

I, THE UNDERSIGNED DO SOLEMNLY DECLARE THAT
1) I, THE UNDERSIGNED AM THE DULY AUTHORIZED
AGENT OF THE OWNER/DEVELOPER.
2) THE STRATA PLAN IS ENTIRELY FOR RESIDENTIAL USE.
I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY
BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF
THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

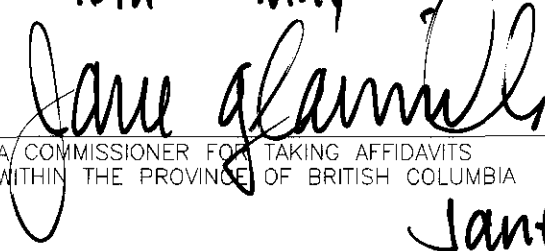

WITNESS AS TO ABOVE SIGNATURES
SANDY HAYER


ALLEN LAI

200-885 WEST GEORGIA STREET
VANCOUVER, BC V6C 3G1
ADDRESS OF WITNESS

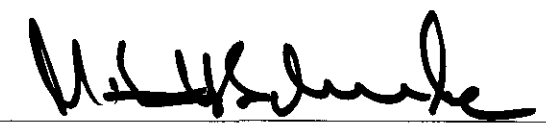
DECLARED BEFORE ME AT
IN THE PROVINCE OF BRITISH COLUMBIA
THIS 10th DAY OF May, 2005.


SENIOR COMMERCIAL FINANCIAL
SERVICES OFFICER
OCCUPATION OF WITNESS


A COMMISSIONER FOR TAKING AFFIDAVITS
WITHIN THE PROVINCE OF BRITISH COLUMBIA
Jane Glanville

I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR
CERTIFY THAT THE BUILDINGS INCLUDED IN THIS STRATA PLAN
HAVE NOT, AS OF MAY 6th, 2005 BEEN PREVIOUSLY OCCUPIED.

I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR
CERTIFY THAT THE BUILDINGS SHOWN ON THIS STRATA PLAN ARE
WITHIN THE EXTERNAL BOUNDARIES OF THE LAND THAT IS THE
SUBJECT OF THE STRATA PLAN.
DATE: MAY 9th, 2005.


B.C.L.S.


B.C.L.S.


....., B.C.L.S.
MAY 9th, 2005

FILE: 2588-4
DWG: 2094

CONDOMINIUM ACT

PHASE 5
STRATA PLAN

LMS 921
.....

STRATA LOT No.	UNIT No. (ADDRESS)	SHEET No.	FORM 1	FORM 2	FORM 3
			SCHEDULE OF UNIT ENTITLEMENT	SCHEDULE OF INTEREST UPON DESTRUCTION	SCHEDULE OF VOTING RIGHTS
			UNIT ENTITLEMENT	INTEREST UPON DESTRUCTION	NUMBER OF VOTES
203	101	5 , 8	803	1,501	1
204	103	5 , 8	697	1,297	1
205	105	5 , 8	564	1,016	1
206	107	5 , 8	610	1,156	1
207	109	5 , 8	561	1,018	1
208	111	5 , 8	614	1,141	1
209	113	5 , 8	559	1,057	1
210	110	5 , 8	852	1,498	1
211	108	5 , 8	557	1,023	1
212	106	5 , 8	612	1,157	1
213	104	5 , 8	557	1,022	1
214	102	5 , 8	846	1,474	1
215	201	5 , 9	815	1,526	1
216	203	5 , 9	704	1,318	1
217	205	5 , 9	563	949	1
218	207	5 , 9	608	1,076	1
219	209	5 , 9	561	899	1
220	211	5 , 9	624	1,194	1
221	213	5 , 9	819	1,401	1
222	210	5 , 9	950	1,625	1
223	208	5 , 9	558	946	1
224	206	5 , 9	611	1,076	1
225	204	5 , 9	557	946	1
226	202	5 , 9	944	1,638	1

STRATA LOT No.	UNIT No. (ADDRESS)	SHEET No.	FORM 1	FORM 2	FORM 3
			SCHEDULE OF UNIT ENTITLEMENT	SCHEDULE OF INTEREST UPON DESTRUCTION	SCHEDULE OF VOTING RIGHTS
			UNIT ENTITLEMENT	INTEREST UPON DESTRUCTION	NUMBER OF VOTES
227	301	5 , 10	815	1,560	1
228	303	5 , 10	704	1,350	1
229	305	5 , 10	563	1,042	1
230	307	5 , 10	608	1,085	1
231	309	5 , 10	561	932	1
232	311	5 , 10	624	1,223	1
233	313	5 , 10	819	1,413	1
234	310	5 , 10	950	1,798	1
235	308	5 , 10	558	955	1
236	306	5 , 10	611	1,085	1
237	304	5 , 10	557	1,046	1
238	302	5 , 10	944	1,699	1
239	401	5 , 11	815	1,442	1
240	403	5 , 11	704	1,252	1
241	405	5 , 11	563	960	1
242	407	5 , 11	608	1,094	1
243	409	5 , 11	561	961	1
244	411	5 , 11	624	1,130	1
245	413	5 , 11	819	1,426	1
246	410	5 , 11	950	1,647	1
247	408	5 , 11	558	966	1
248	406	5 , 11	611	1,102	1
249	404	5 , 11	557	973	1
250	402	5 , 11	944	1,667	1
PHASE 5 AGGREGATE			32,774	58,762	48

PHASE 1 AGGREGATE	174,386	276,397	165
PHASE 2 AGGREGATE	16,619	28,040	15
PHASE 3 AGGREGATE	12,222	20,370	11
PHASE 4 AGGREGATE	15,950	27,120	11
SUM OF AGGREGATES PHASES 1+2+3+4+5	251,951	410,689	250

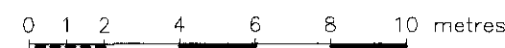
NLS.
....., B.C.L.S.
MAY 9th, 2005

FILE: 2588-4
DWG: 2094

ORIGINAL

PHASE 5 STRATA PLAN LMS 921

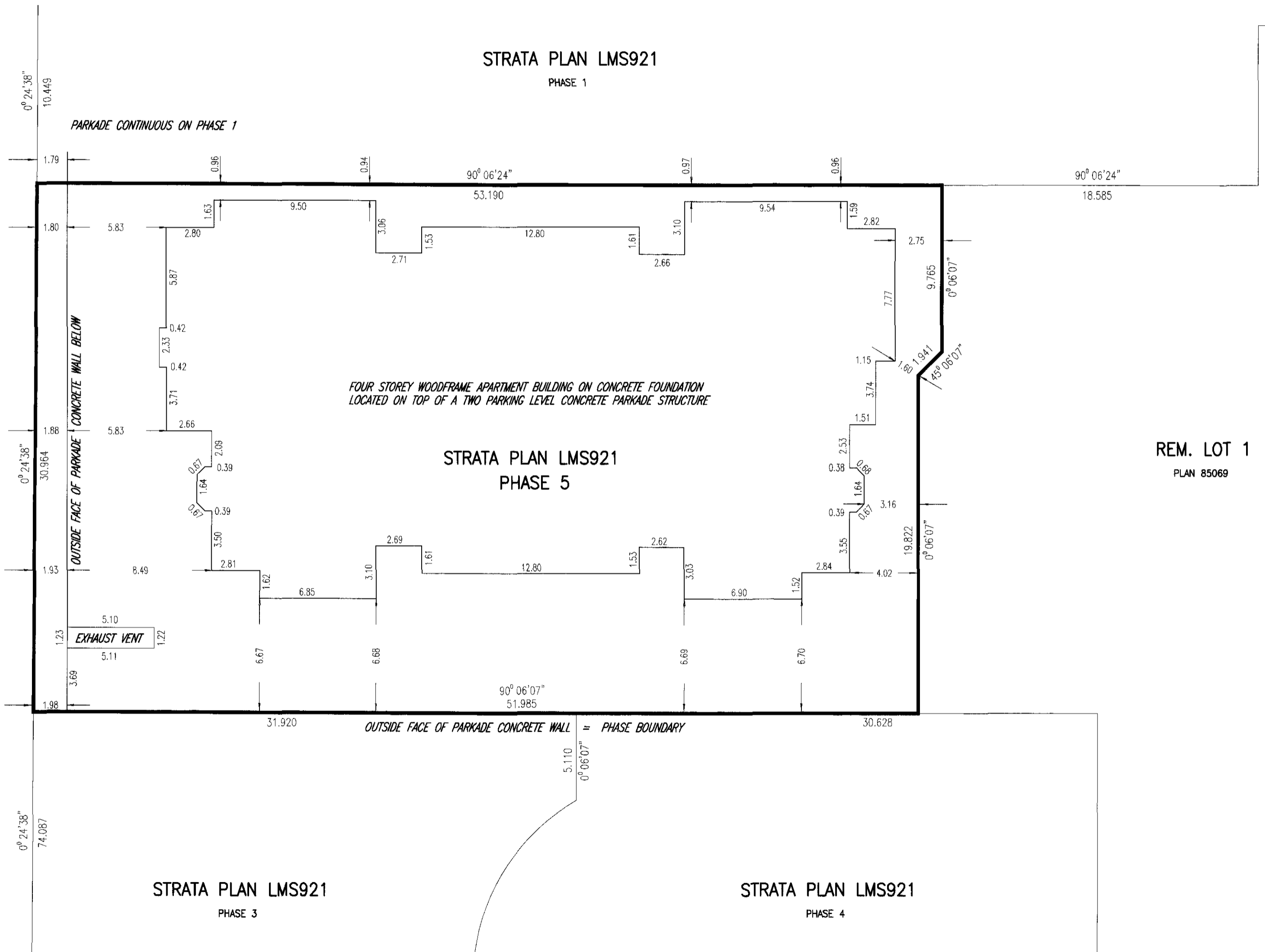
BUILDING LOCATION AND DIMENSIONS



SCALE = 1 : 200



148th Street



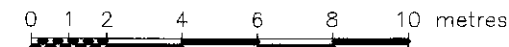
REM. LOT 1
PLAN 85069

W.B.
....., B.C.L.S.
MAY 9th, 2005

FILE: 2588-4
DWG.: 2094

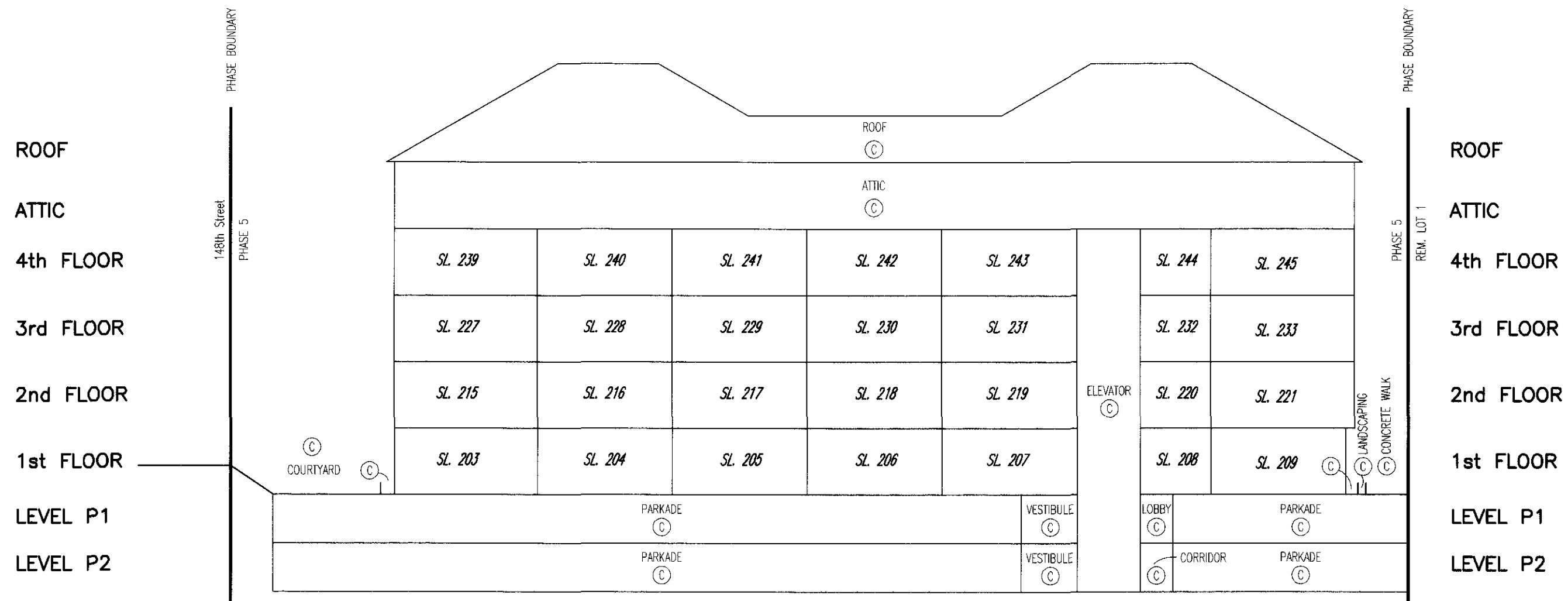
ORIGINAL

SECTIONS

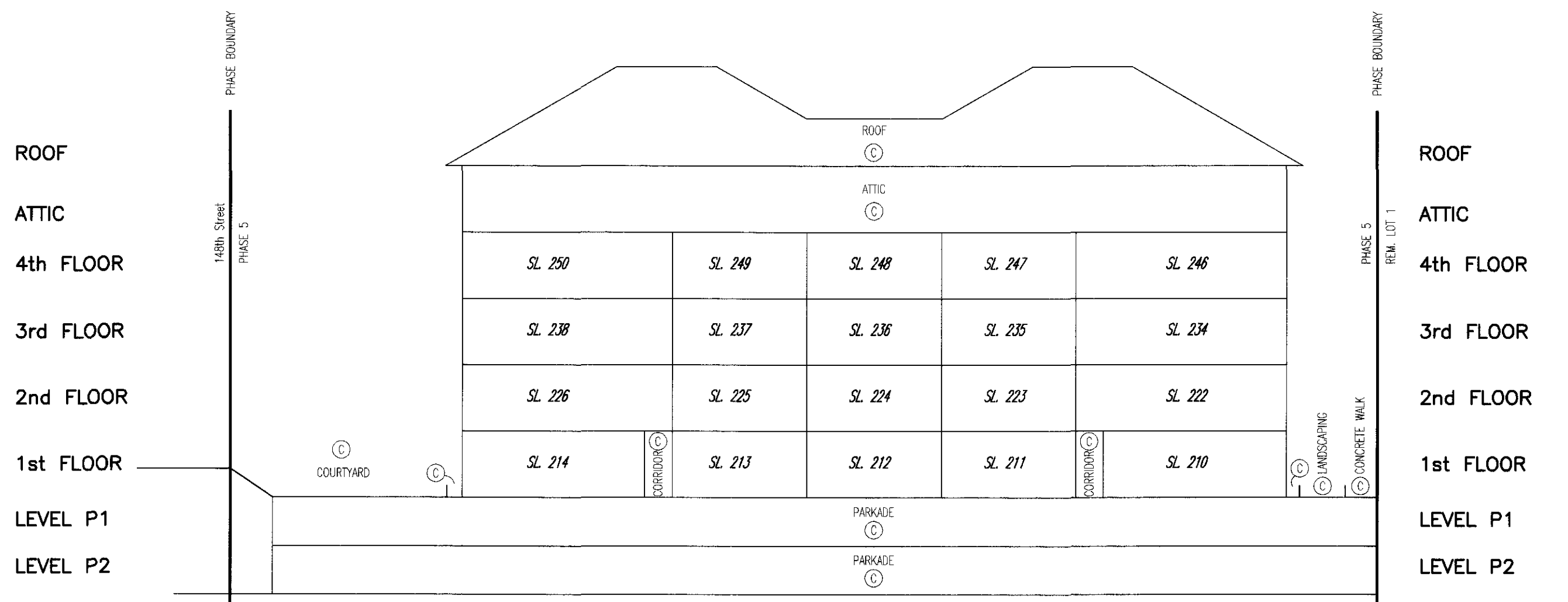


HORIZONTAL SCALE = 1 : 200
VERTICAL NOT TO SCALE

**PHASE 5
STRATA PLAN LMS 921**



SECTION 'B'-'B'



SECTION 'A'-'A'

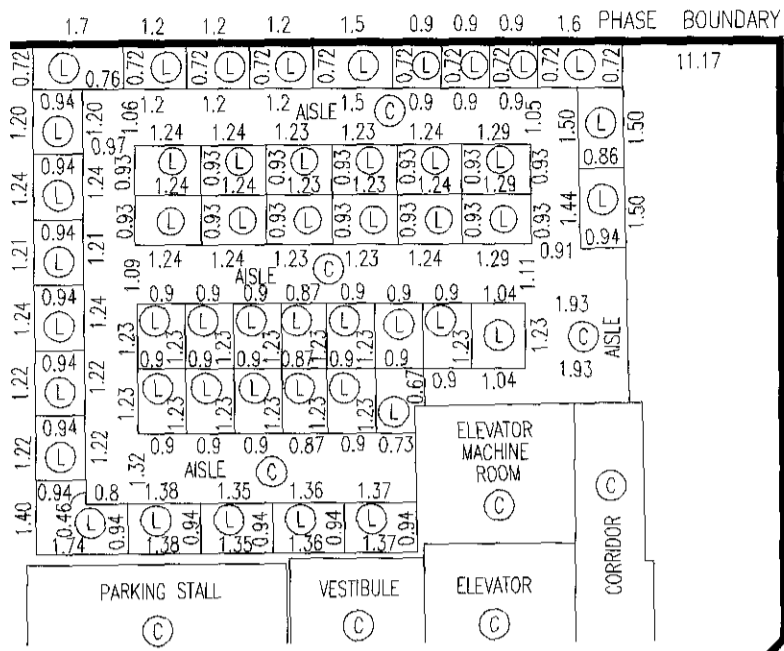
NLS
....., B.C.L.S.
MAY 9th, 2005

FILE: 2588-4
DWG.: 2094

ORIGINAL

STRATA PLAN LMS921

PHASE 1



ALL STORAGE LOCKERS (L) ARE LCP. SL'S 203 to 250

DETAIL

STORAGE LOCKER ROOM

NOT TO SCALE

PARKING LEVEL P2



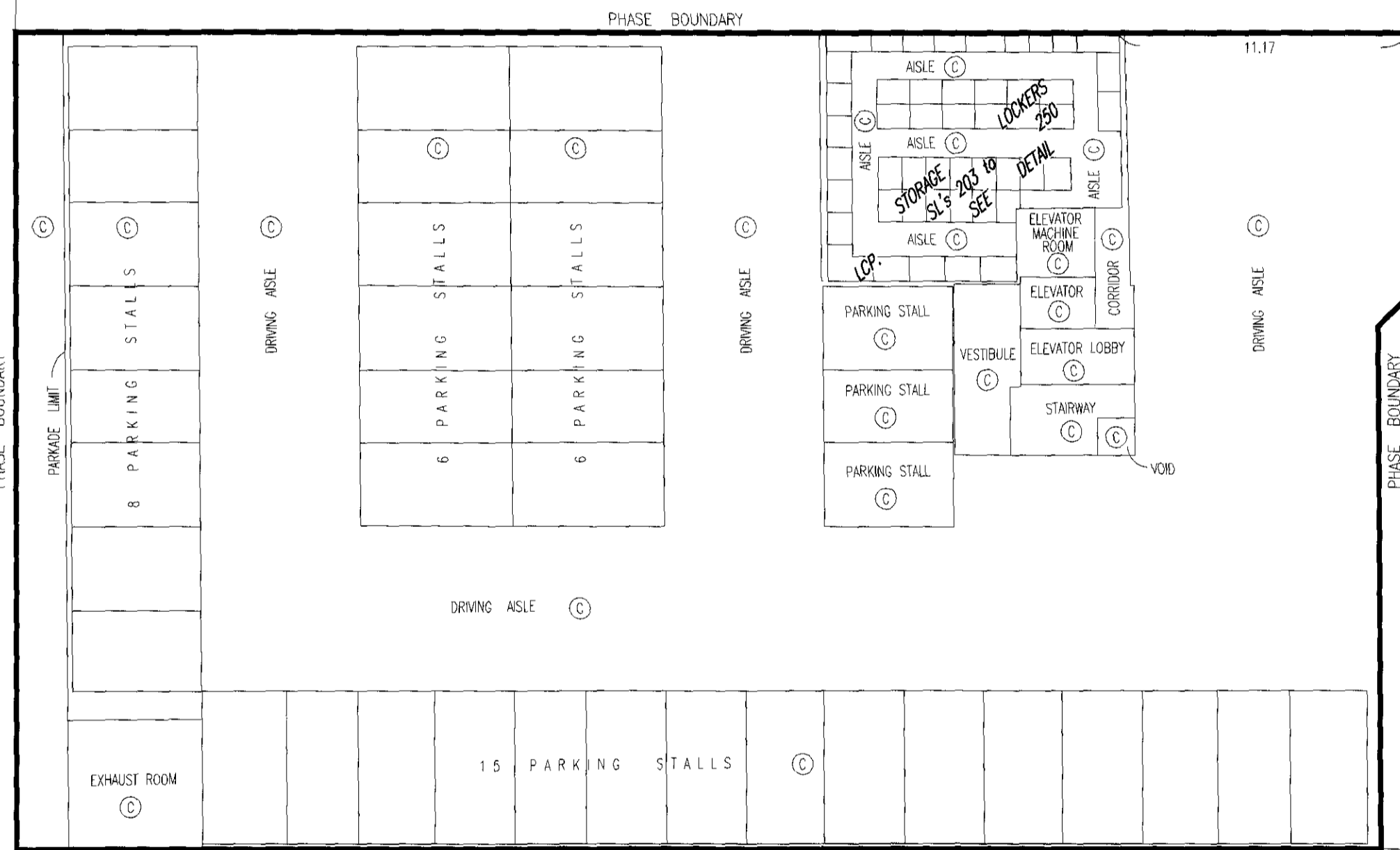
SCALE = 1 : 200

PHASE 5 STRATA PLAN LMS 921

AMENDED PURSUANT TO SECTION 25B, STRATA PROPERTY ACT, THIS 22ND DAY OF JULY, 2005. SEE AMENDED SHEET 6A. (BX254229)

STRATA PLAN LMS921

PHASE 1



REM. LOT 1
PLAN 85069

STRATA PLAN LMS921

PHASE 3

STRATA PLAN LMS921

PHASE 4

MBS
..... B.C.L.S.

MAY 9th, 2005

FILE: 2588-4

DWG.: 2094 REV.: 1

ORIGINAL

EXPLANATORY PLAN AMENDING STRATA PLAN LMS921, PHASE 5, TO DESIGNATE PARKING STALLS AS LIMITED COMMON PROPERTY FOR THE EXCLUSIVE USE OF STRATA LOTS 80, 87, 109, 120, 137, 204, 206, 208, 209, 211 TO 213, 216, 218 TO 220, 224, 225, 228, 230 TO 232, 236, 237, 240, 242, 244, 248, 249, 300.

PHASE 5 STRATA PLAN LMS 921

DEPOSITED AND REGISTERED IN THE LAND TITLE OFFICE
AT NEW WESTMINSTER, B.C.
THIS 22ND DAY OF July, 2005

PURSUANT TO SECTION 258 (1) OF THE STRATA PROPERTY ACT.
B.C.G.S. 92G.016

PARKING LEVEL P2

J. MacDonald
DEPUTY REGISTRAR

BX254229

"GUILDFORD PARK PLACE"

CIVIC ADDRESS:
14859 - 100th Avenue
SURREY, B.C.

0 1 2 4 6 8 10 metres

SCALE = 1 : 200

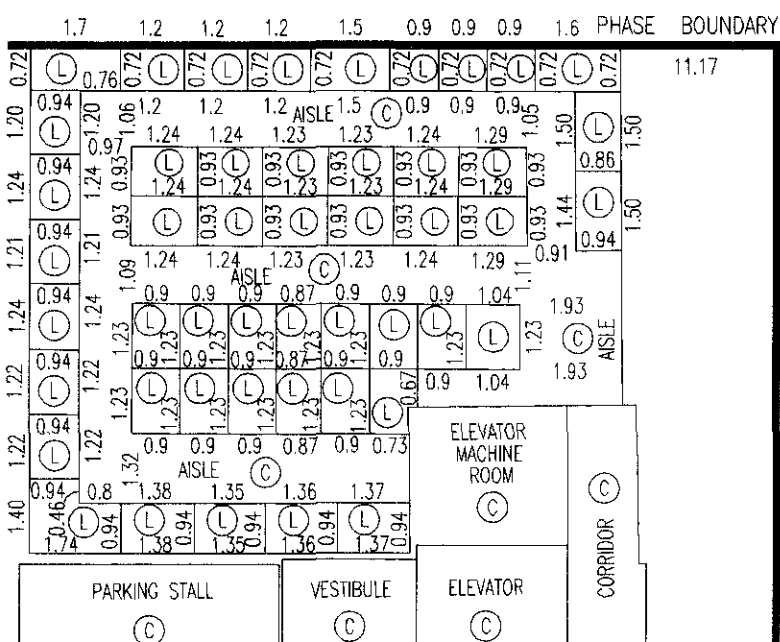
LEGEND:

- ⊙ INDICATES COMMON PROPERTY
- Ⓟ INDICATES PARKING STALL
- SL. INDICATES STRATA LOT
- LCP. INDICATES LIMITED COMMON PROPERTY
- PT. INDICATES PART

NOTES:

ALL DISTANCES ARE IN METRES
AND DECIMALS THEREOF.

STRATA PLAN LMS921 PHASE 1



ALL STORAGE LOCKERS ⊙ ARE LCP. SL.'s 203 to 250

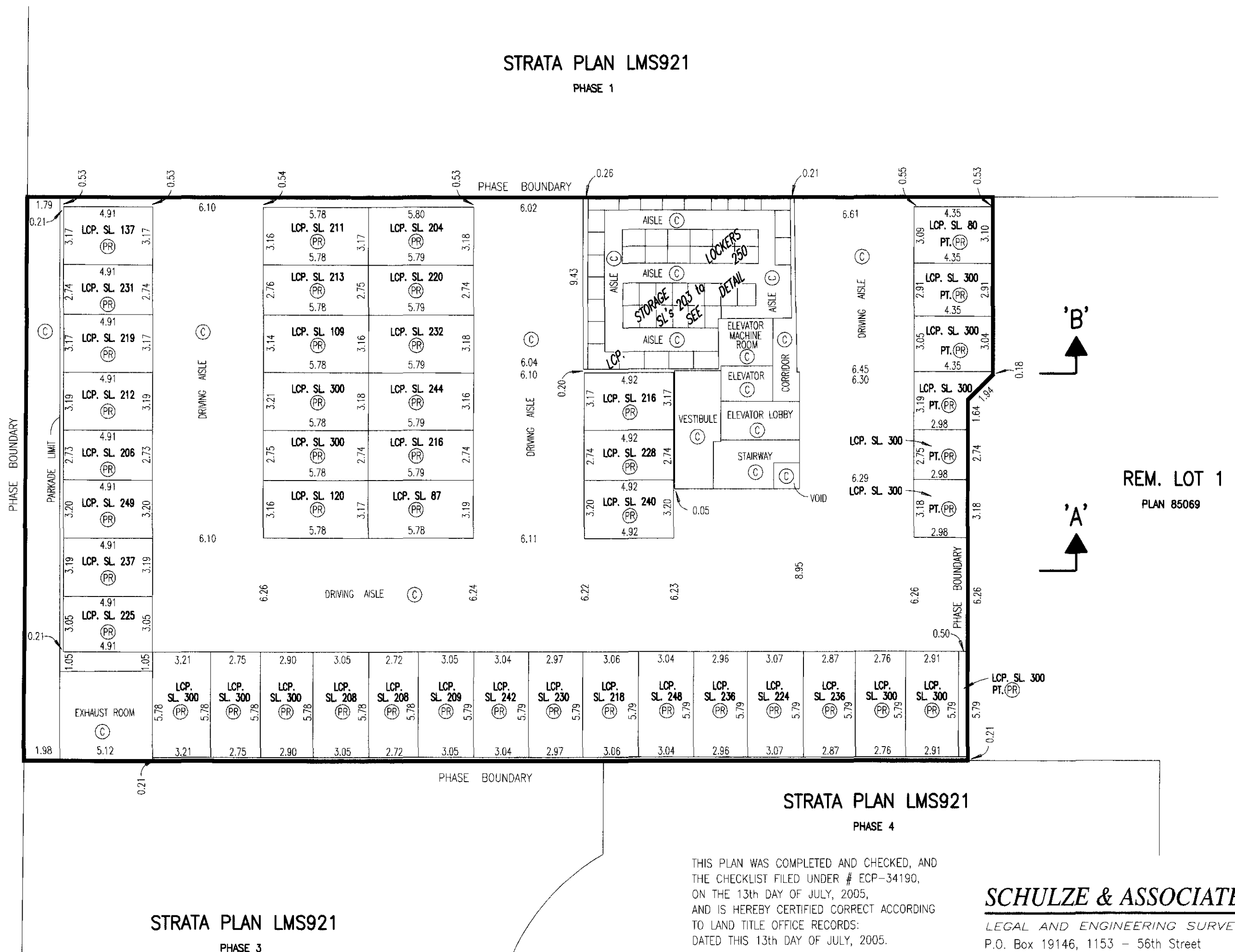
DETAIL

STORAGE LOCKER ROOM

NOT TO SCALE

148th Street

'B'
'A'



STRATA PLAN LMS921 PHASE 4

THIS PLAN WAS COMPLETED AND CHECKED, AND
THE CHECKLIST FILED UNDER # ECP-34190,
ON THE 13th DAY OF JULY, 2005,
AND IS HEREBY CERTIFIED CORRECT ACCORDING
TO LAND TITLE OFFICE RECORDS:
DATED THIS 13th DAY OF JULY, 2005.

M. Schulze
B.C.L.S.
Martin H. Schulze

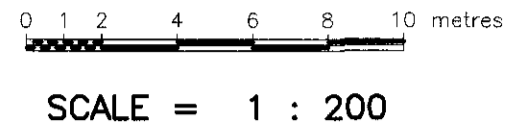
SCHULZE & ASSOCIATES

LEGAL AND ENGINEERING SURVEYS
P.O. Box 19146, 1153 - 56th Street
DELTA, B.C. V4L 2P8
TEL.: (604)522-1616 FAX: (604)943-5054
e-mail: schulze@telus.net

FILE: 2588-4 DWG.: 2094A REV.: 0

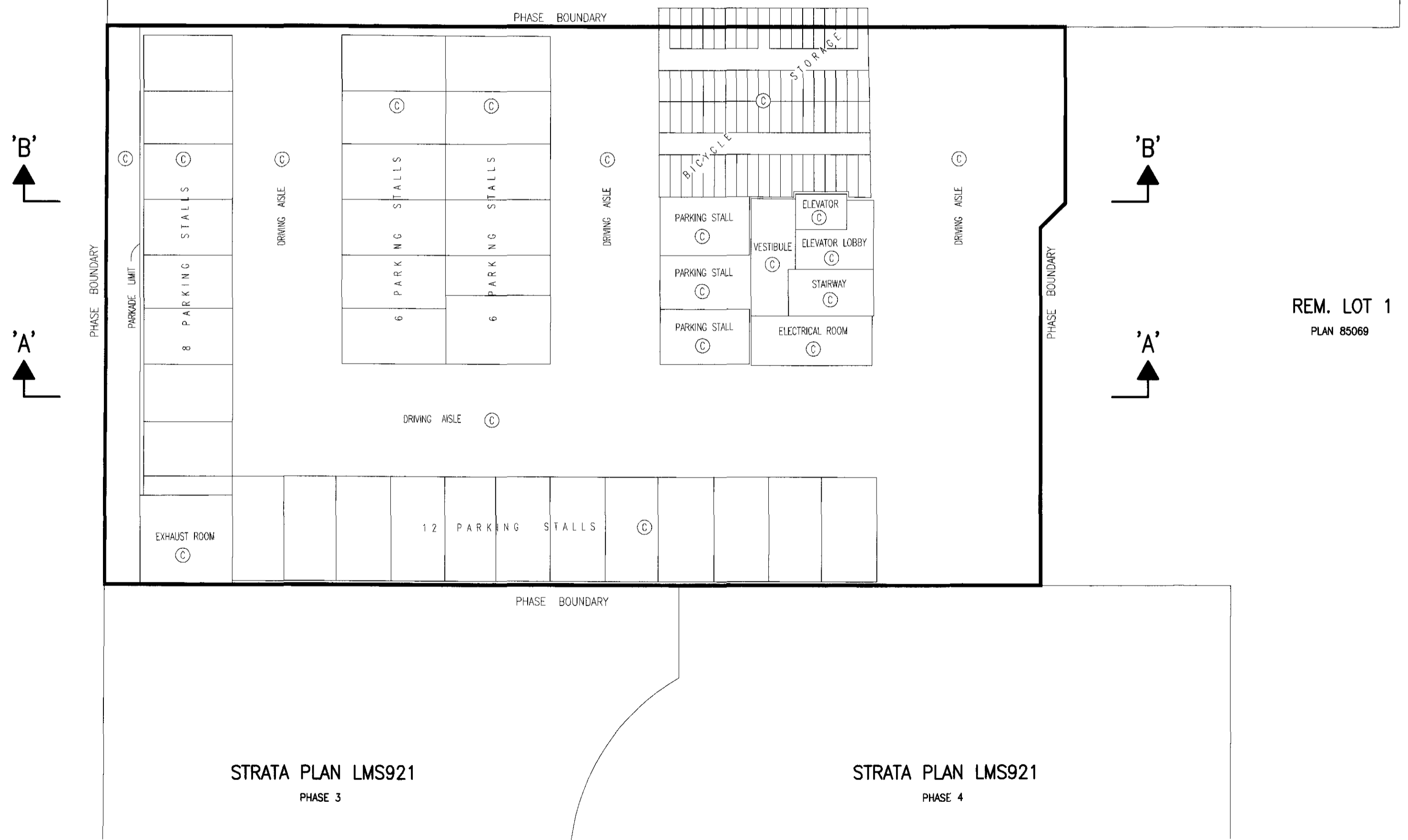
PHASE 5 STRATA PLAN LMS 921

PARKING LEVEL P1



AMENDED PURSUANT TO SECTION 258,
STRATA PROPERTY ACT, THIS 22 ND DAY OF
JULY, 2005. SEE AMENDED SHEET 7A
(BX254230)

STRATA PLAN LMS921 PHASE 1



REM. LOT 1
PLAN 85069

STRATA PLAN LMS921
PHASE 3

STRATA PLAN LMS921
PHASE 4

LMS, B.C.L.S.
MAY 9th, 2005

FILE: 2588-4
DWG.: 2094

**EXPLANATORY PLAN AMENDING STRATA PLAN LMS921, PHASE 5,
TO DESIGNATE PARKING STALLS AS LIMITED COMMON PROPERTY
FOR THE EXCLUSIVE USE OF STRATA LOTS 49, 127, 152, 155, 156,
161, 203, 205, 207, 210, 214, 215, 217, 221 TO 223, 226, 227, 229,
233 TO 235, 238, 239, 241, 243, 245 TO 247, 250, 263, 272, 300.**

**PHASE 5
STRATA PLAN LMS 921**

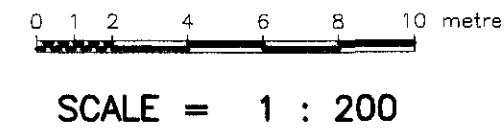
DEPOSITED AND REGISTERED IN THE LAND TITLE OFFICE
AT NEW WESTMINSTER, B.C.
THIS 22ND DAY OF July, 2005

PURSUANT TO SECTION 258 (1) OF THE STRATA PROPERTY ACT.
B.C.G.S. 92G.016
THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT.

I. MacDonald
DEPUTY REGISTRAR
BX254230

"GUILDFORD PARK PLACE"
CIVIC ADDRESS:
14859 - 100th Avenue
SURREY, B.C.

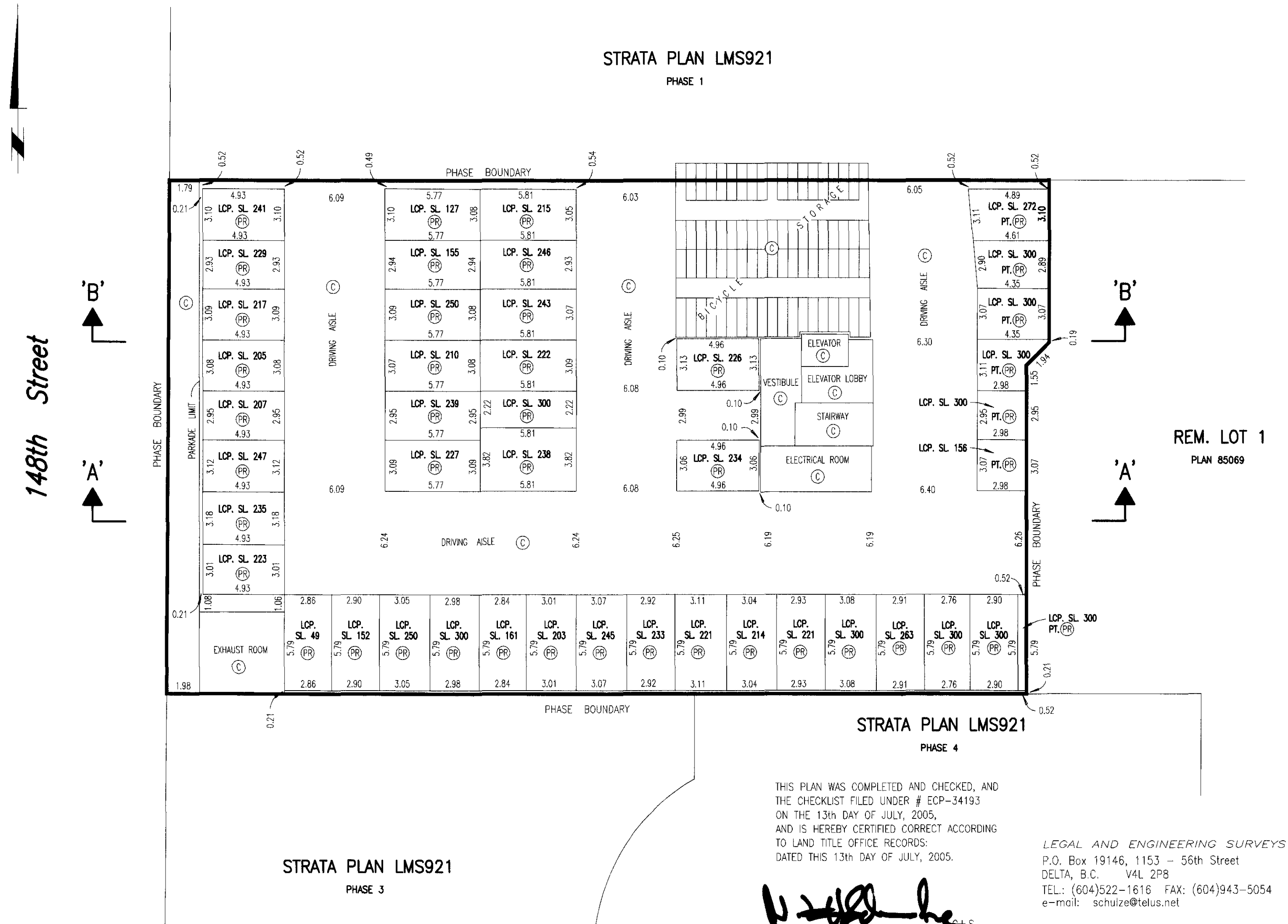
PARKING LEVEL P1



- LEGEND:**
- ⊙ INDICATES COMMON PROPERTY
 - Ⓟ INDICATES PARKING STALL
 - SL. INDICATES STRATA LOT
 - LCP. INDICATES LIMITED COMMON PROPERTY
 - PT. INDICATES PART

NOTES:

ALL DISTANCES ARE IN METRES
AND DECIMALS THEREOF.



THIS PLAN WAS COMPLETED AND CHECKED, AND
THE CHECKLIST FILED UNDER # ECP-34193
ON THE 13th DAY OF JULY, 2005,
AND IS HEREBY CERTIFIED CORRECT ACCORDING
TO LAND TITLE OFFICE RECORDS:
DATED THIS 13th DAY OF JULY, 2005.

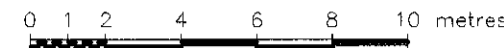
LEGAL AND ENGINEERING SURVEYS
P.O. Box 19146, 1153 - 56th Street
DELTA, B.C. V4L 2P8
TEL.: (604)522-1616 FAX: (604)943-5054
e-mail: schulze@telus.net

M. Schulze
Martin H. Schulze

FILE: 2588-4 DWG.: 2094B REV.: 0

PHASE 5 STRATA PLAN LMS 921

1st FLOOR



SCALE = 1 : 200

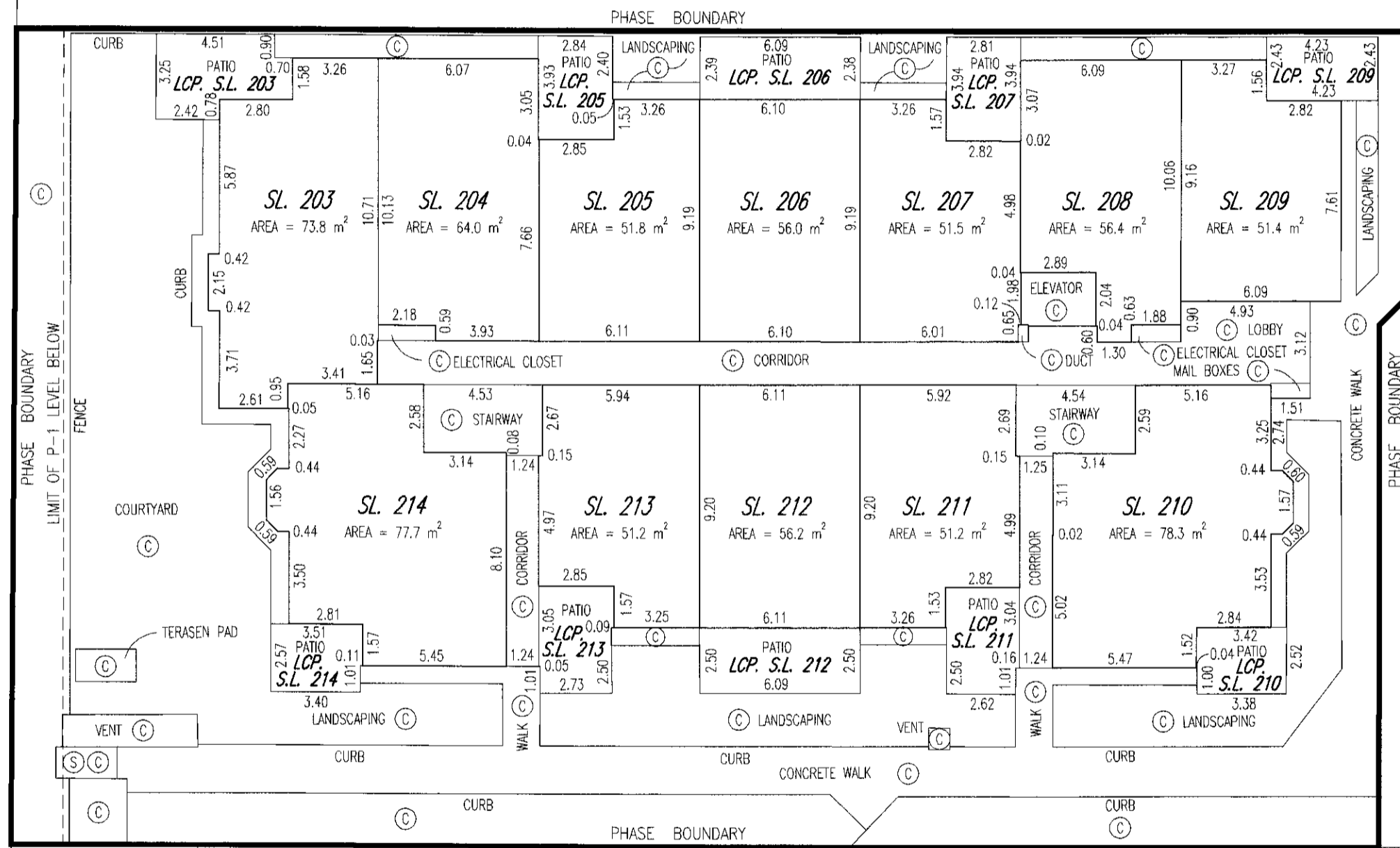
STRATA PLAN LMS921 PHASE 1



148th Street

'B'
'A'

'B'
'A'



REM. LOT 1
PLAN 85069

STRATA PLAN LMS921
PHASE 3

STRATA PLAN LMS921
PHASE 4

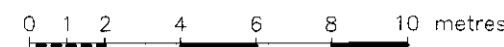
NBS.
....., B.C.L.S.
MAY 9th, 2005

FILE: 2588-4
DWG: 2094

ORIGINAL

PHASE 5 STRATA PLAN LMS 921

2nd FLOOR

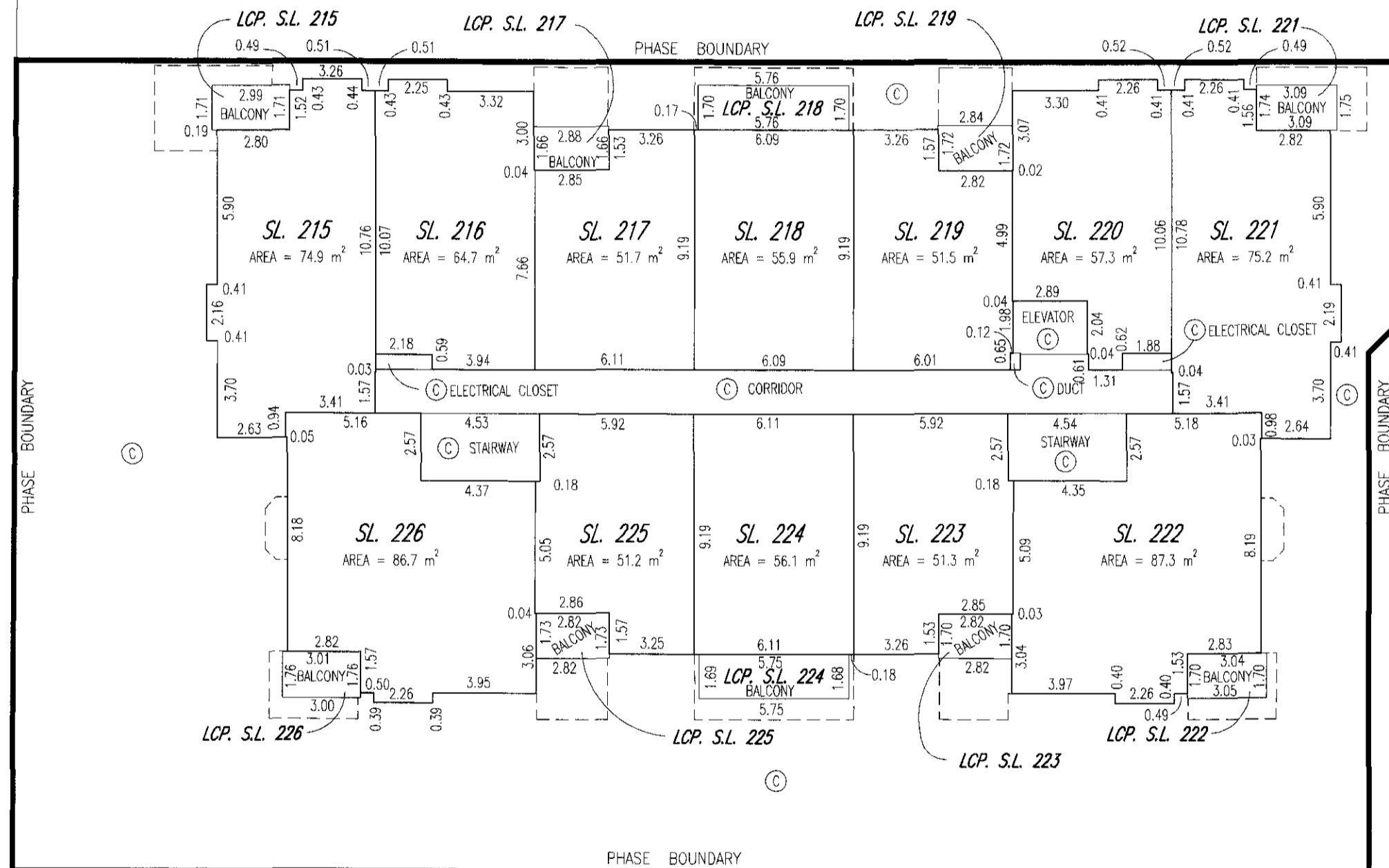


SCALE = 1 : 200

STRATA PLAN LMS921 PHASE 1



148th Street



REM. LOT 1
PLAN 85069

STRATA PLAN LMS921
PHASE 3

STRATA PLAN LMS921
PHASE 4

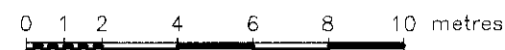
N.A.S.
....., B.C.L.S.
MAY 9th, 2005

FILE: 2588-4
DWG.: 2094

ORIGINAL

PHASE 5 STRATA PLAN LMS 921

3rd FLOOR



SCALE = 1 : 200

STRATA PLAN LMS921 PHASE 1



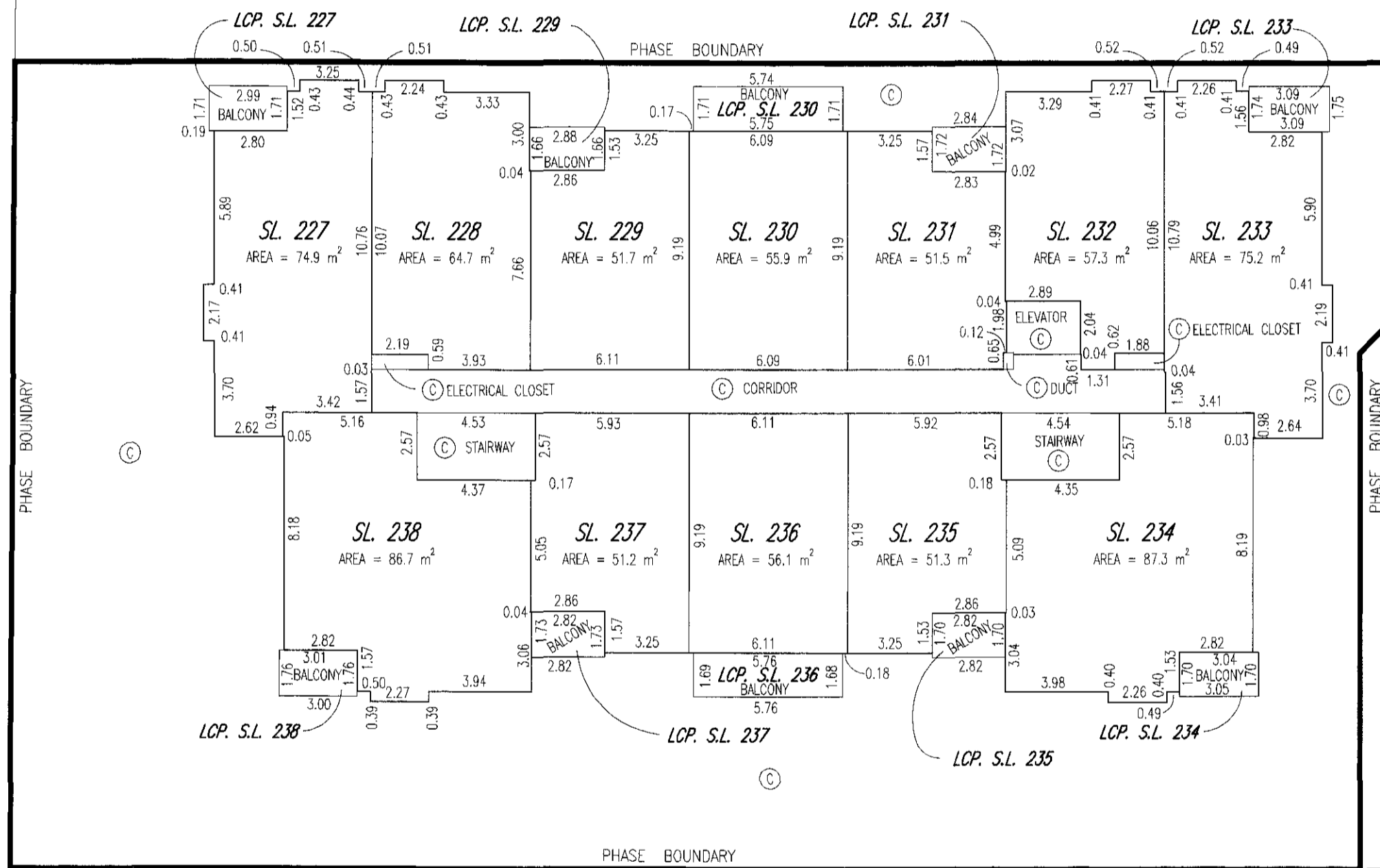
'B'

'A'

'B'

'A'

148th Street



REM. LOT 1
PLAN 85069

STRATA PLAN LMS921
PHASE 3

STRATA PLAN LMS921
PHASE 4

KUB

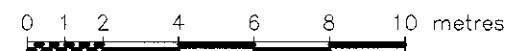
....., B.C.L.S.
MAY 9th, 2005

FILE: 2588-4
DWG.: 2094

ORIGINAL

PHASE 5 STRATA PLAN LMS 921

4th FLOOR



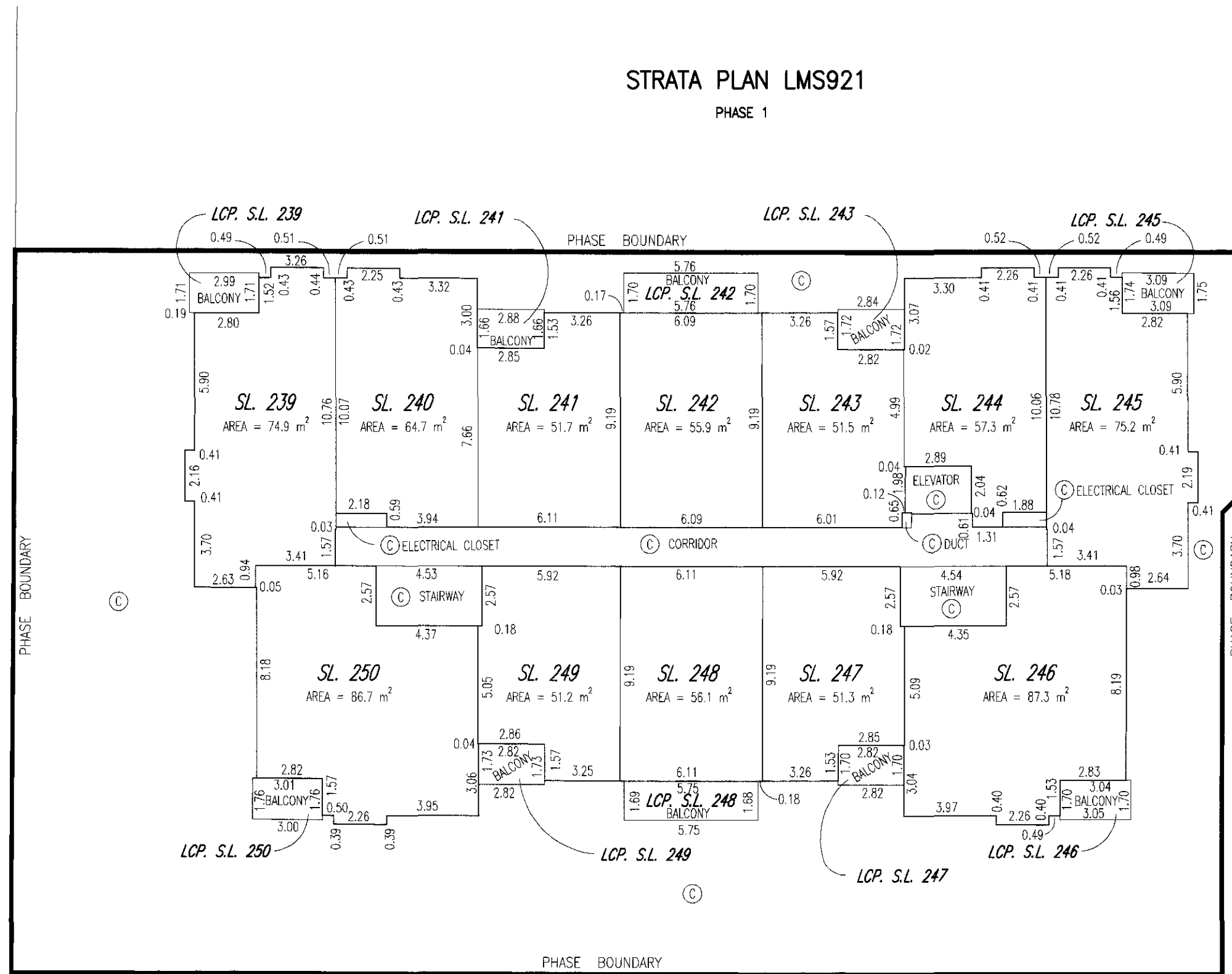
SCALE = 1 : 200

STRATA PLAN LMS921

PHASE 1



148th Street



REM. LOT 1
PLAN 85069

STRATA PLAN LMS921
PHASE 3

STRATA PLAN LMS921
PHASE 4

W.S.
....., B.C.L.S.
MAY 9th, 2005

FILE: 2588-4
DWG.: 2094

ORIGINAL

PHASE 5
STRATA PLAN LMS 921

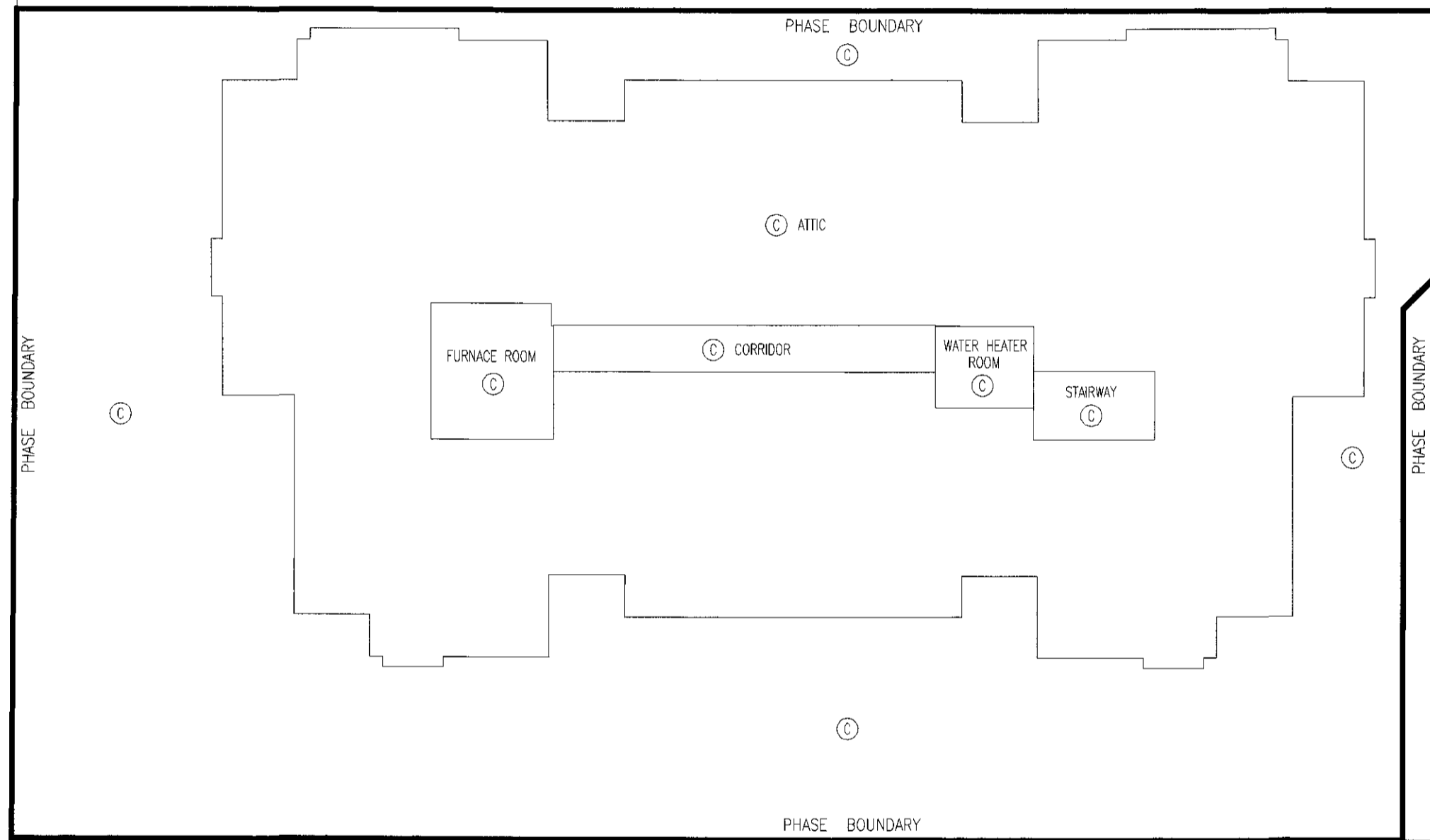
ATTIC



SCALE = 1 : 200



STRATA PLAN LMS921
PHASE 1



'B'
↑

'A'
↑

'B'
↑

'A'
↑

148th Street

REM. LOT 1
PLAN 85069

STRATA PLAN LMS921
PHASE 3

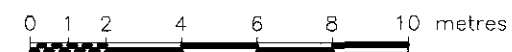
STRATA PLAN LMS921
PHASE 4

NHS., B.C.L.S.
MAY 9th, 2005

FILE: 2588-4
DWG.: 2094

PHASE 5
STRATA PLAN LMS 921

ROOF

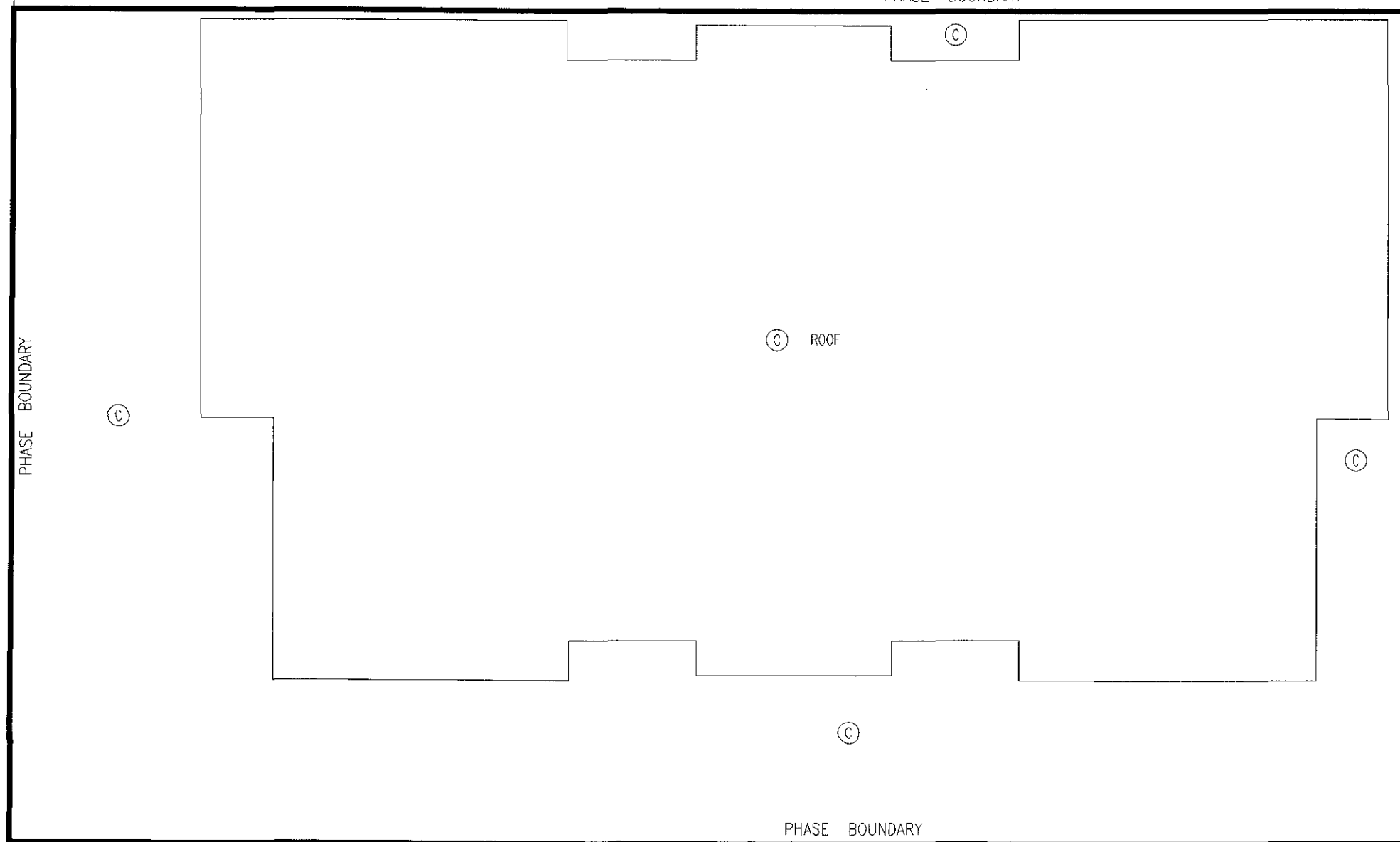


SCALE = 1 : 200



STRATA PLAN LMS921
PHASE 1

PHASE BOUNDARY



'B'
↑

'A'
↑

'B'
↑

'A'
↑

148th Street

REM. LOT 1
PLAN 85069

STRATA PLAN LMS921
PHASE 3

STRATA PLAN LMS921
PHASE 4

NAB.
....., B.C.L.S.
MAY 9th, 2005

FILE: 2588-4
DWG.: 2094

ORIGINAL

**STRATA PLAN OF PART OF LOT 1,
EXCEPT: PHASES 1 TO 5 STRATA PLAN LMS921,
SECTION 29, BLOCK 5 NORTH, RANGE 1 WEST,
NEW WESTMINSTER DISTRICT, PLAN 85069.**

"THE CITY OF SURREY"
B.C.G.S. 92G.016

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT

"GUILDFORD PARK PLACE"

CIVIC ADDRESS:

14877 - 100th Avenue
SURREY, B.C.

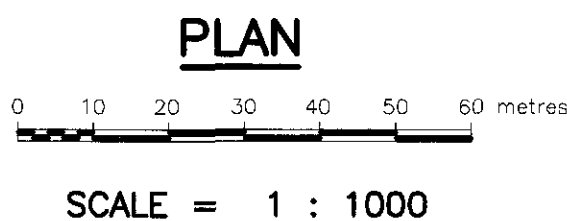
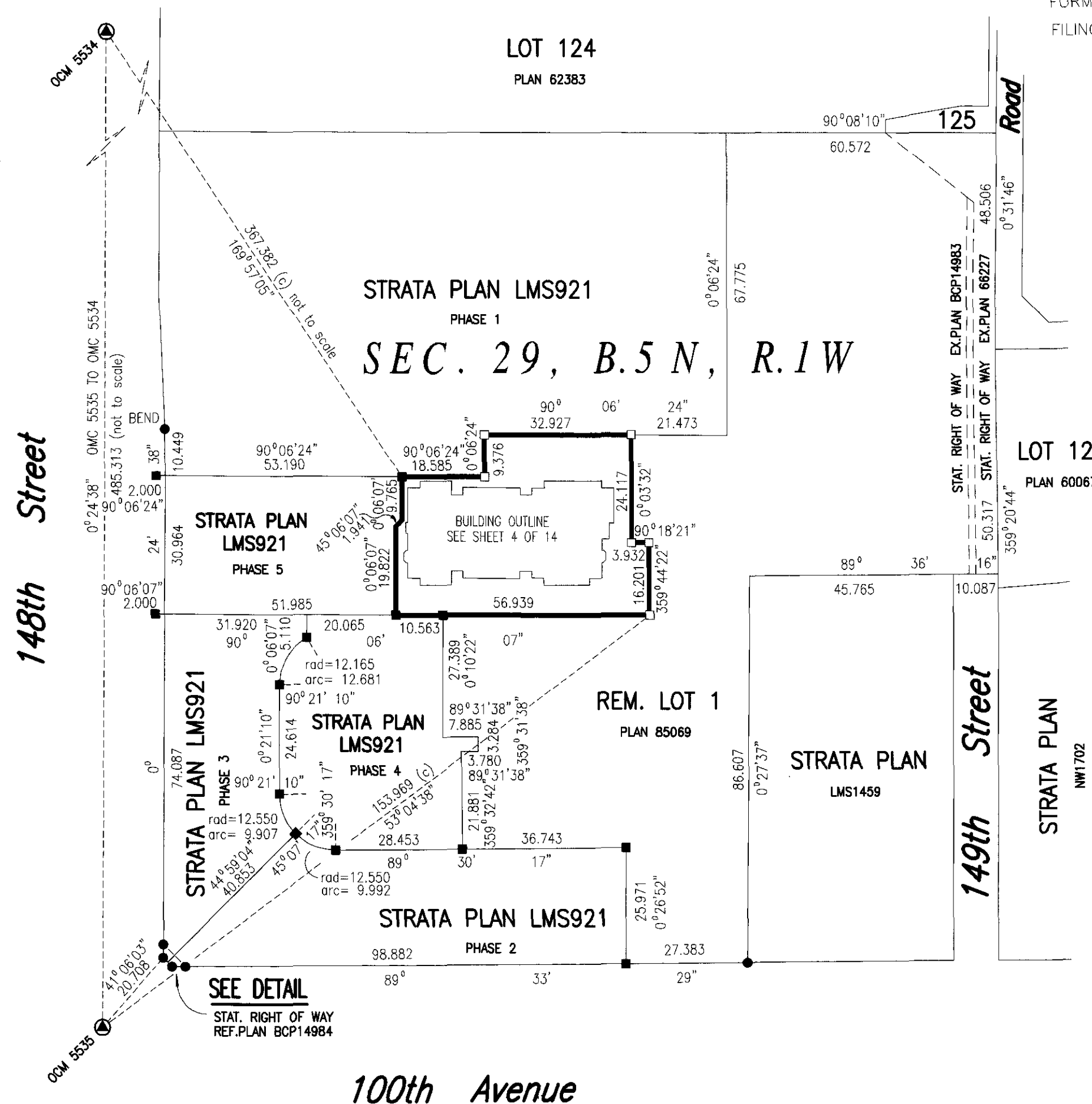
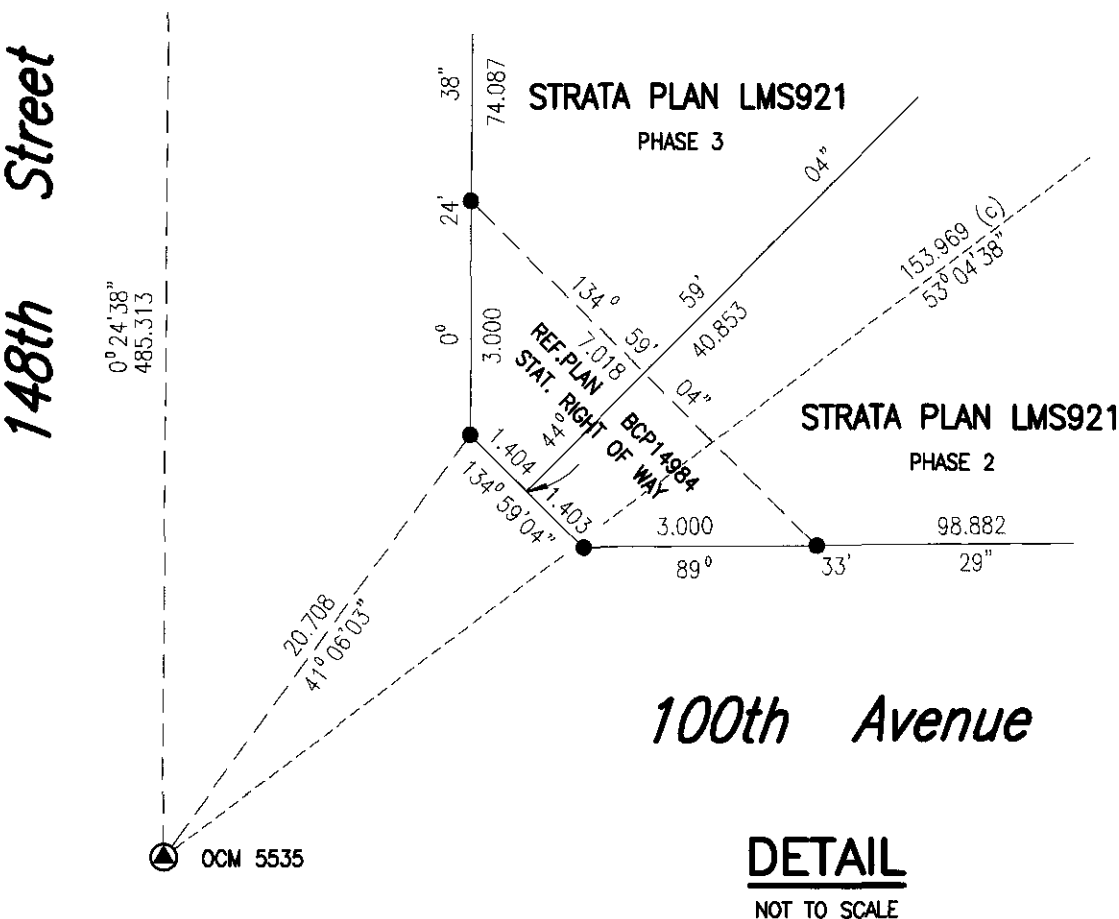
LEGEND:

- ⊙ INDICATES CONTROL MONUMENT FOUND
- INDICATES STANDARD IRON POST FOUND
- INDICATES LEAD PLUG PLACED
- m² INDICATES SQUARE METRES
- c INDICATES CALCULATED
- S.L. INDICATES STRATA LOT
- L.C.P. INDICATES LIMITED COMMON PROPERTY
- PT. INDICATES PART
- ⊙ INDICATES COMMON PROPERTY
- ⊙ INDICATES GARAGE
- ⊙ INDICATES WALKWAY
- ⊙ INDICATES YARD
- ⊙ INDICATES CONCRETE PAD
- ⊙ INDICATES DRIVEWAY
- ⊙ INDICATES STAIRS
- ⊙ INDICATES DECK

NOTES:

- ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE INDICATED.
- GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN CONTROL MONUMENTS 5534 AND 5535, NAD 83 (CSRS).
- THIS PLAN SHOWS GROUND LEVEL MEASURED DISTANCES. PRIOR TO COMPUTATION OF U.T.M. COORDINATES, MULTIPLY BY COMBINED FACTOR 0.99958955.

INTEGRATED SURVEY AREA No. 1, CITY OF SURREY.



**PHASE 6
STRATA PLAN LMS 921**

DEPOSITED IN THE LAND TITLE OFFICE AT
NEW WESTMINSTER, BRITISH COLUMBIA.
THIS 29 DAY OF June, 2005

Jan MacDonald IEP
DEPUTY REGISTRAR
BX544094 - BX544145

FORM "P"
FILING No.:

I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR OF DELTA IN BRITISH COLUMBIA CERTIFY THAT I WAS PRESENT AT AND PERSONALLY SUPERINTENDED THE SURVEY REPRESENTED BY THIS PLAN AND THAT THE SURVEY AND PLAN ARE CORRECT. THE FIELD SURVEY WAS COMPLETED ON THE 10th DAY OF MAY, 2005. THE PLAN WAS COMPLETED AND CHECKED, AND THE CHECKLIST FILED UNDER # ECP-32734, ON THE 14th DAY OF JUNE, 2005.

M. Schulze
MARTIN HANS SCHULZE, B.C.L.S.

THE ADDRESS FOR SERVICE OF DOCUMENTS ON THE STRATA CORPORATION IS:

THE OWNERS, STRATA PLAN LMS921
c/o CLARK, WILSON, BARRISTERS & SOLICITORS
800 - 885 WEST GEORGIA STREET
VANCOUVER, B.C., CANADA
V6C 3H1

SCHULZE & ASSOCIATES
LEGAL AND ENGINEERING SURVEYS
P.O. Box 19146, 1153 - 56th Street
DELTA, B.C. V4L 2P8
TEL.: (604)522-1616 FAX: (604)943-5054
e-mail: schulze@telus.net
FILE: 2588-4 DWG.: 2097 REV.: 0

PHASE 6
STRATA PLAN LMS 921
.....

SIGNATURES

OWNER/DEVELOPER

GUILDFORD PARK ENTERPRISES LTD.
(INCORPORATION No. 348458)

Allen Lai
AUTHORIZED SIGNATORY

AUTHORIZED SIGNATORY

Jane Glanville
WITNESS AS TO ABOVE SIGNATURES
Jane Glanville

800-885 West Georgia St
ADDRESS OF WITNESS
Vancover, BC
Lawyer
OCCUPATION OF WITNESS

MORTGAGEE

HSBC BANK CANADA

Paul Mathieson
AUTHORIZED SIGNATORY

Joseph Young
AUTHORIZED SIGNATORY

Graham Fraser
WITNESS AS TO ABOVE SIGNATURES

885 West Green St, Vancouver
ADDRESS OF WITNESS

Bank Staff
OCCUPATION OF WITNESS

I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR
CERTIFY THAT THE BUILDINGS INCLUDED IN THIS STRATA PLAN
HAVE NOT, AS OF JUNE 14th, 2005 BEEN PREVIOUSLY OCCUPIED.

M. Schulze
B.C.L.S.

ACCEPTED AS TO FORMS 1 AND 2

THIS 17th DAY OF June, 2005

A. Dias-Sabro
SUPERINTENDENT OF REAL ESTATE

SECTION 8 (2)
CERTIFICATE OF APPROVAL

I HEREBY CERTIFY THAT THE COMMON FACILITY WHICH
ACCORDING TO FORM 'P' OF THE ACT WERE TO HAVE BEEN
CONSTRUCTED IN CONJUNCTION WITH THIS PHASE, HAVE
BEEN SATISFACTORILY PROVIDED FOR.

THIS 20th DAY OF June, 2005.

J. Robb
APPROVING OFFICER
CITY OF SURREY

APPROVED AS TO PHASE 6 OF A 10 PHASE STRATA PLAN
UNDER THE CONDOMINIUM ACT.

THIS 20th DAY OF June, 2005.

J. Robb
APPROVING OFFICER
CITY OF SURREY

STATUTORY DECLARATION

I, THE UNDERSIGNED DO SOLEMNLY DECLARE THAT
1) I, THE UNDERSIGNED AM THE DULY AUTHORIZED
AGENT OF THE OWNER/DEVELOPER.
2) THE STRATA PLAN IS ENTIRELY FOR RESIDENTIAL USE.
I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY
BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF
THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

Allen Lai
Allen Lai

DECLARED BEFORE ME AT
IN THE PROVINCE OF BRITISH COLUMBIA
THIS 15 DAY OF June, 2005.

Jane Glanville
A COMMISSIONER FOR TAKING AFFIDAVITS
WITHIN THE PROVINCE OF BRITISH COLUMBIA
Jane Glanville

I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR
CERTIFY THAT THE BUILDINGS SHOWN ON THIS STRATA PLAN ARE
WITHIN THE EXTERNAL BOUNDARIES OF THE LAND THAT IS THE
SUBJECT OF THE STRATA PLAN.
DATE: JUNE 14th, 2005.

M. Schulze
B.C.L.S.

MHS
....., B.C.L.S.
JUNE 14th, 2005

FILE: 2588-4
DWG: 2097

CONDOMINIUM ACT

**PHASE 6
STRATA PLAN LMS 921**
.....

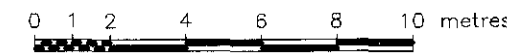
STRATA LOT No.	UNIT No. (ADDRESS)	SHEET No.	FORM 1	FORM 2	FORM 3
			SCHEDULE OF UNIT ENTITLEMENT	SCHEDULE OF INTEREST UPON DESTRUCTION	SCHEDULE OF VOTING RIGHTS
			UNIT ENTITLEMENT	INTEREST UPON DESTRUCTION	NUMBER OF VOTES
251	101	5, 9	1,113	1,990	1
252	103	5, 9	559	1,035	1
253	105	5, 9	607	1,160	1
254	107	5, 9	561	1,035	1
255	109	5, 9	658	1,115	1
256	111	5, 9	611	1,152	1
257	113	5, 9	557	1,057	1
258	112	5, 9	847	1,538	1
259	110	5, 9	642	1,150	1
260	108	5, 9	561	1,040	1
261	106	5, 9	606	1,165	1
262	104	5, 9	552	1,040	1
263	102	5, 9	848	1,605	1
264	201	5, 10	1,124	2,418	1
265	203	5, 10	559	1,054	1
266	205	5, 10	607	1,131	1
267	207	5, 10	561	1,056	1
268	209	5, 10	669	1,140	1
269	211	5, 10	622	1,192	1
270	213	5, 10	815	1,457	1
271	212	5, 10	944	1,663	1
272	210	5, 10	656	1,156	1
273	208	5, 10	561	1,062	1
274	206	5, 10	606	1,115	1
275	204	5, 10	555	1,060	1
276	202	5, 10	946	1,672	1

STRATA LOT No.	UNIT No. (ADDRESS)	SHEET No.	FORM 1	FORM 2	FORM 3
			SCHEDULE OF UNIT ENTITLEMENT	SCHEDULE OF INTEREST UPON DESTRUCTION	SCHEDULE OF VOTING RIGHTS
			UNIT ENTITLEMENT	INTEREST UPON DESTRUCTION	NUMBER OF VOTES
277	301	5, 11	1,124	1,943	1
278	303	5, 11	559	1,076	1
279	305	5, 11	607	1,118	1
280	307	5, 11	561	992	1
281	309	5, 11	669	1,150	1
282	311	5, 11	622	1,244	1
283	313	5, 11	815	1,450	1
284	312	5, 11	944	1,692	1
285	310	5, 11	656	1,163	1
286	308	5, 11	561	1,082	1
287	306	5, 11	606	1,123	1
288	304	5, 11	555	1,082	1
289	302	5, 11	946	1,840	1
290	401	5, 12	1,124	2,037	1
291	403	5, 12	559	998	1
292	405	5, 12	607	1,134	1
293	407	5, 12	561	1,029	1
294	409	5, 12	669	1,170	1
295	411	5, 12	622	1,172	1
296	413	5, 12	815	1,540	1
297	412	5, 12	944	1,988	1
298	410	5, 12	656	1,183	1
299	408	5, 12	561	1,030	1
300	406	5, 12	606	1,139	1
301	404	5, 12	555	1,003	1
302	402	5, 12	946	1,993	1
PHASE 6 AGGREGATE			36,397	67,629	52
PHASE 1 AGGREGATE			174,386	276,397	165
PHASE 2 AGGREGATE			16,619	28,040	15
PHASE 3 AGGREGATE			12,222	20,370	11
PHASE 4 AGGREGATE			15,950	27,120	11
PHASE 5 AGGREGATE			32,774	58,762	48
SUM OF AGGREGATES PHASES 1 TO 6			288,348	478,318	302

NMS.
....., B.C.L.S.
JUNE 14th, 2005
FILE: 2588-4
DWG: 2097

PHASE 6 STRATA PLAN LMS 921

BUILDING LOCATION AND DIMENSIONS



SCALE = 1 : 200

STRATA PLAN LMS921

PHASE 1

PHASE BOUNDARY

90° 06' 24"

32.927

PARKADE CONTINUOUS ON PHASE 1

PHASE BOUNDARY

90° 06' 24"

18.585

FOUR STOREY WOODFRAME APARTMENT BUILDING ON CONCRETE FOUNDATION
LOCATED ON TOP OF A TWO PARKING LEVEL CONCRETE PARKADE STRUCTURE

STRATA PLAN LMS921

PHASE 6

REM. LOT 1

PLAN 85069

STRATA PLAN LMS921

PHASE 5

PHASE BOUNDARY

0° 06' 07"

19.822

2.65

2.83

1.52

7.02

3.12

2.49

1.60

12.88

1.60

2.64

1.53

2.73

1.60

10.24

1.50

2.80

6.68

6.68

6.68

6.68

6.68

6.68

6.68

6.68

6.68

10.563

90° 06' 07"

OUTSIDE FACE OF PARKADE CONCRETE WALL = PHASE BOUNDARY

56.939

90° 06' 07"

SLAB EDGE = PHASE BOUNDARY

0° 03' 32"

24.117

7.85

1.08

3.99

1.51

3.61

1.08

3.99

1.08

3.99

1.08

3.99

1.08

3.99

1.08

3.99

1.08

3.99

1.08

3.99

1.08

SLAB EDGE = PHASE BOUNDARY

90° 18' 21"

3.932

16.201

359° 44' 22"

STRATA PLAN LMS921

PHASE 4

Handwritten signature

....., B.C.L.S.

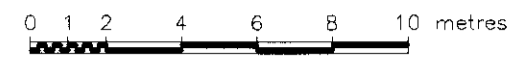
JUNE 14th, 2005

FILE: 2588-4

DWG: 2097

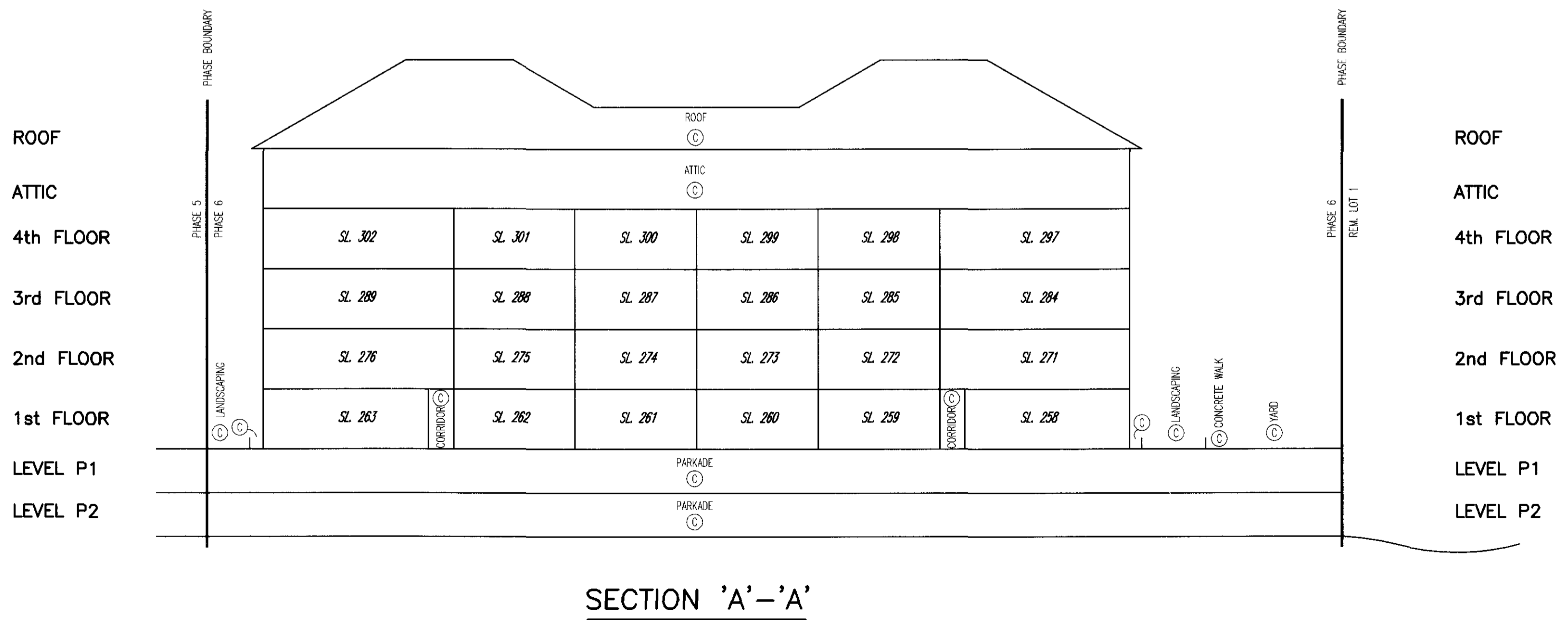
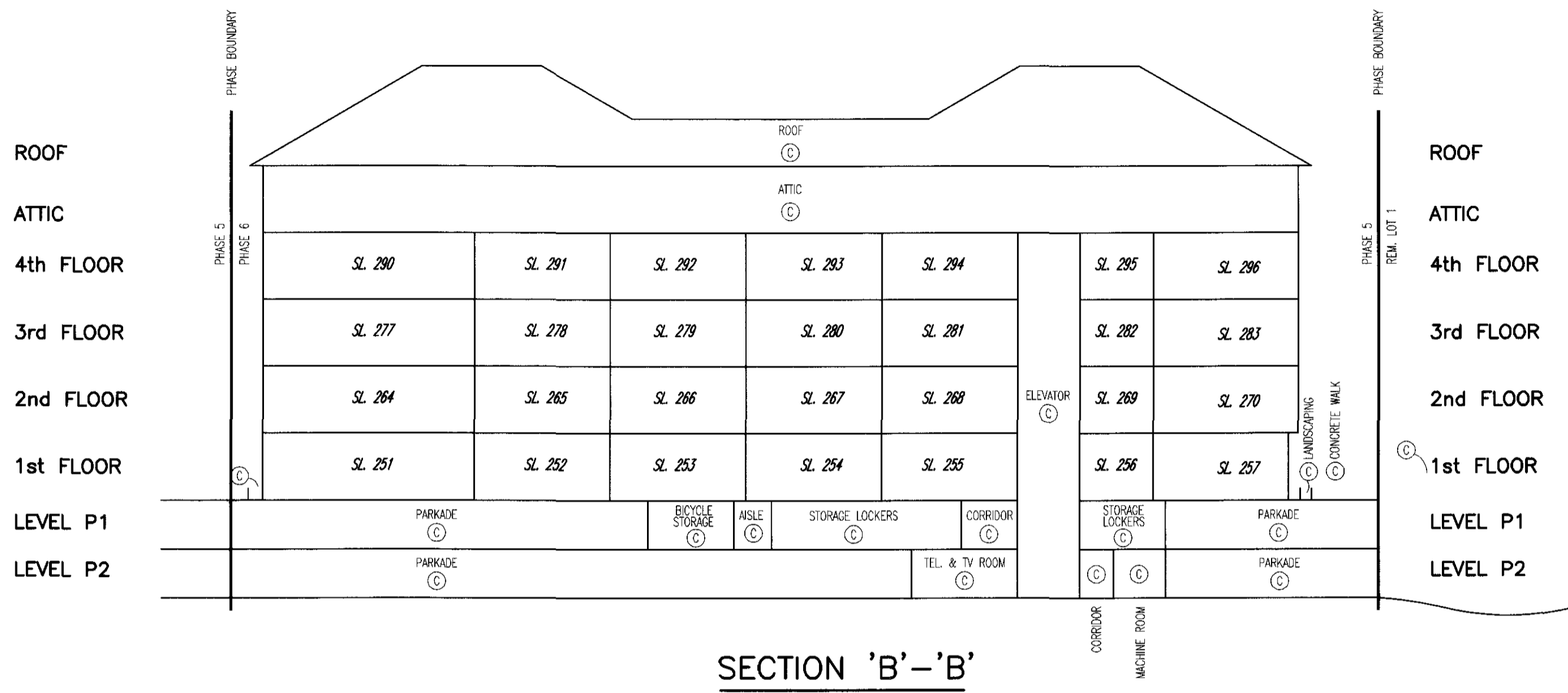
ORIGINAL

SECTIONS



HORIZONTAL SCALE = 1 : 200
VERTICAL NOT TO SCALE

**PHASE 6
STRATA PLAN LMS 921**



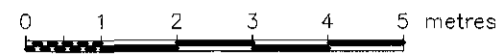
NLS
....., B.C.L.S.
JUNE 14th, 2005

FILE: 2588-4
DWG.: 2097

ORIGINAL

DETAILS OF PARKING LEVEL P1

PHASE 6 STRATA PLAN LMS 921

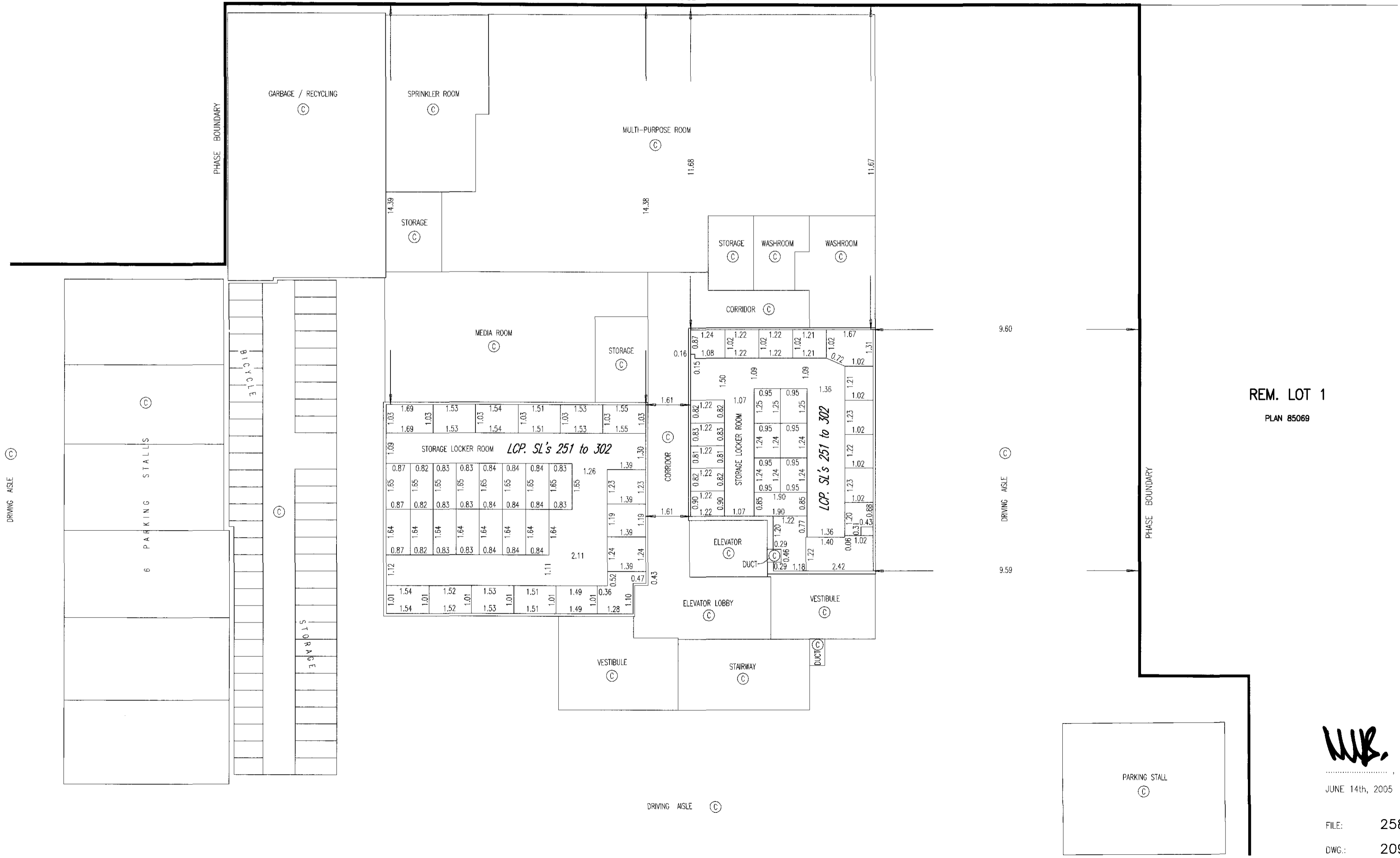


SCALE = 1 : 100

STRATA PLAN LMS921

PHASE 1

PHASE BOUNDARY



REM. LOT 1
PLAN 85069

N.B.
....., B.C.L.S.
JUNE 14th, 2005

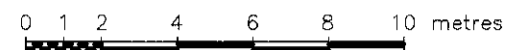
FILE: 2588-4
DWG: 2097

ORIGINAL

PHASE 6 STRATA PLAN LMS 921

AMENDED PURSUANT TO SECTION 258, STRATA
PROPERTY ACT, THIS 22nd July, 2005.
SEE AMENDED SHEET 7A.
(BX254231)

PARKING LEVEL P2



SCALE = 1 : 200



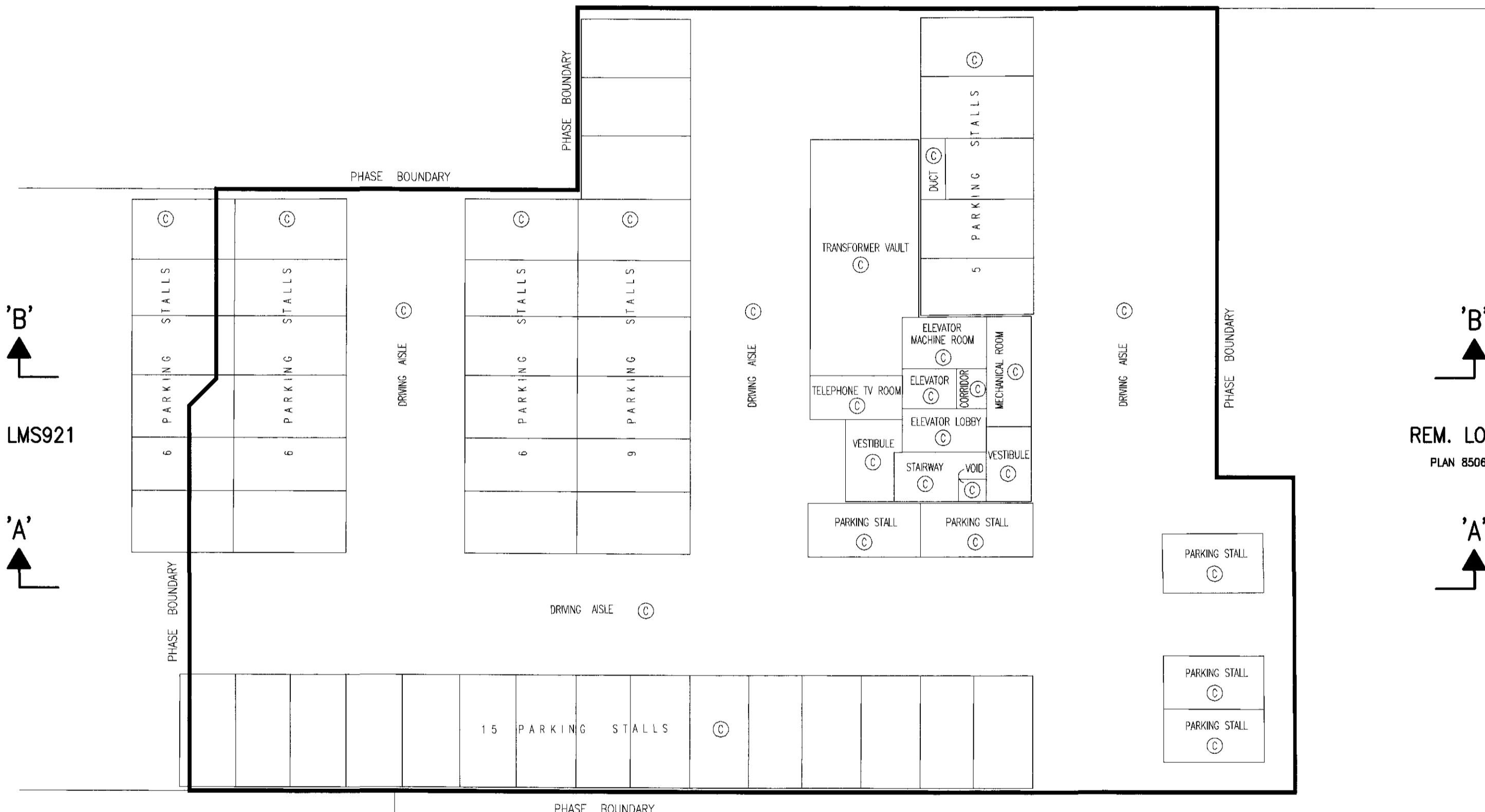
STRATA PLAN LMS921
PHASE 1

PHASE BOUNDARY

STRATA PLAN LMS921
PHASE 5

REM. LOT 1
PLAN 85069

STRATA PLAN LMS921
PHASE 4



WAS
....., B.C.L.S.
JUNE 14th, 2005

FILE: 2588-4
DWG.: 2097

ORIGINAL

EXPLANATORY PLAN AMENDING STRATA PLAN LMS921, PHASE 6, TO DESIGNATE PARKING STALLS AS LIMITED COMMON PROPERTY FOR THE EXCLUSIVE USE OF STRATA LOTS 80, 252 TO 257, 260 TO 262, 265, 267, 269, 273 TO 275, 278 TO 280, 282, 286 TO 288, 291 TO 293, 295, 299 TO 301.

PHASE 6 STRATA PLAN LMS 921

DEPOSITED AND REGISTERED IN THE LAND TITLE OFFICE
AT NEW WESTMINSTER, B.C.
THIS 22ND DAY OF July, 2005

PURSUANT TO SECTION 258 (1) OF THE STRATA PROPERTY ACT.
B.C.G.S. 92G.016
THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT.

PARKING LEVEL P2

J. MacDonald
DEPUTY REGISTRAR

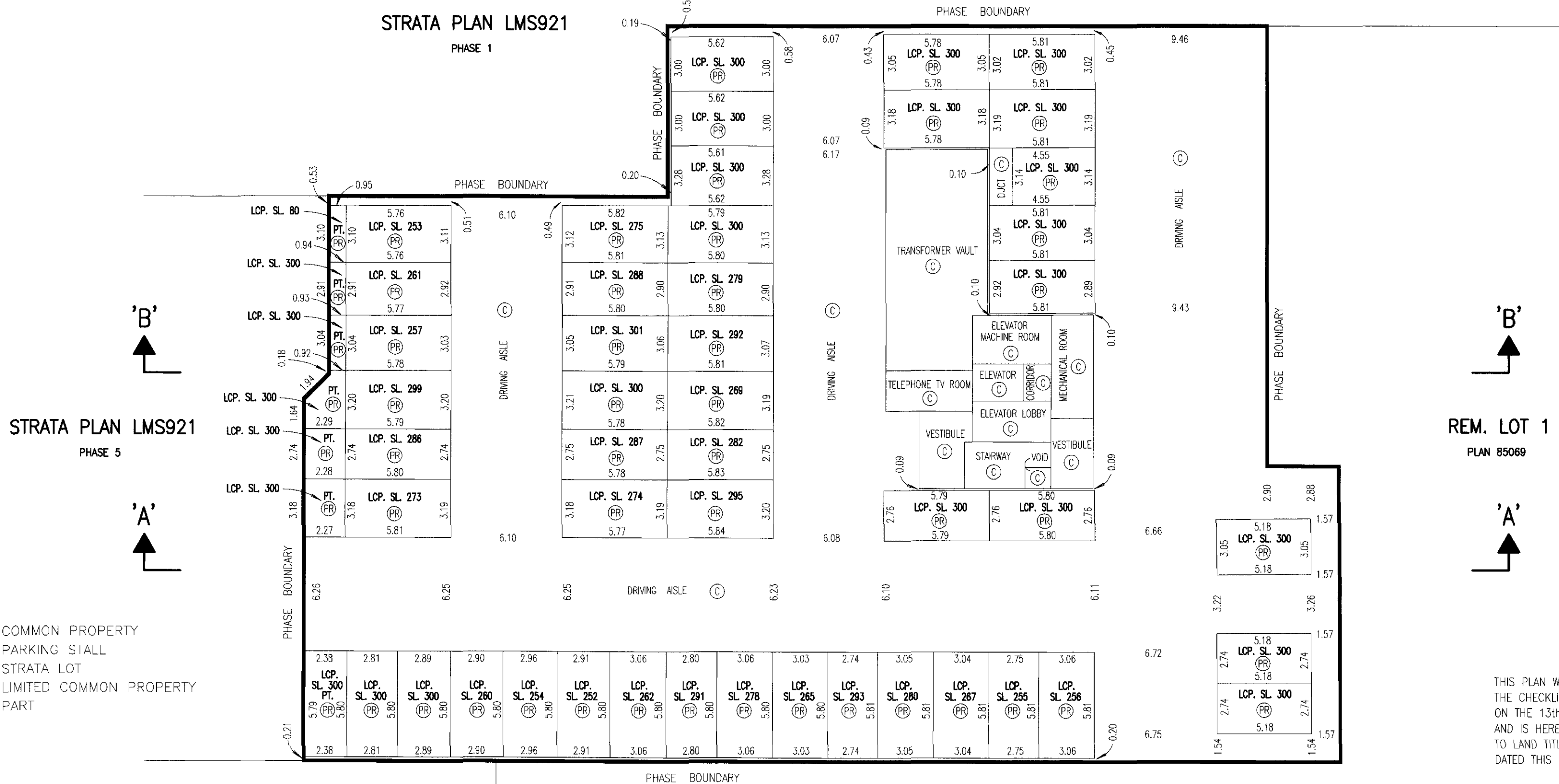
Bx254231

"GUILDFORD PARK PLACE"

CIVIC ADDRESS:
14877 - 100th Avenue
SURREY, B.C.

0 1 2 4 6 8 10 metres

SCALE = 1 : 200



LEGEND:

- (C) INDICATES COMMON PROPERTY
- (PR) INDICATES PARKING STALL
- SL. INDICATES STRATA LOT
- LCP. INDICATES LIMITED COMMON PROPERTY
- PT. INDICATES PART

NOTES:

ALL DISTANCES ARE IN METRES
AND DECIMALS THEREOF.

THIS PLAN WAS COMPLETED AND CHECKED, AND
THE CHECKLIST FILED UNDER # ECP-34194,
ON THE 13th DAY OF JULY, 2005,
AND IS HEREBY CERTIFIED CORRECT ACCORDING
TO LAND TITLE OFFICE RECORDS:
DATED THIS 13th DAY OF JULY, 2005.

M. Schulze
B.C.L.S.
Martin H. Schulze

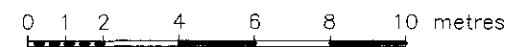
SCHULZE & ASSOCIATES
LEGAL AND ENGINEERING SURVEYS
P.O. Box 19146, 1153 - 56th Street
DELTA, B.C. V4L 2P8
TEL: (604)522-1616 FAX: (604)943-5054
e-mail: schulze@telus.net

FILE: 2588-4 DWG: 2097A REV.: 0

PARKING LEVEL P1

PHASE 6
STRATA PLAN LMS 921
.....

AMENDED PURSUANT TO SECTION 258,
STRATA PROPERTY ACT, THIS 22ND DAY OF
JULY, 2005. SEE AMENDED SHEET 8A
(BX 254245)

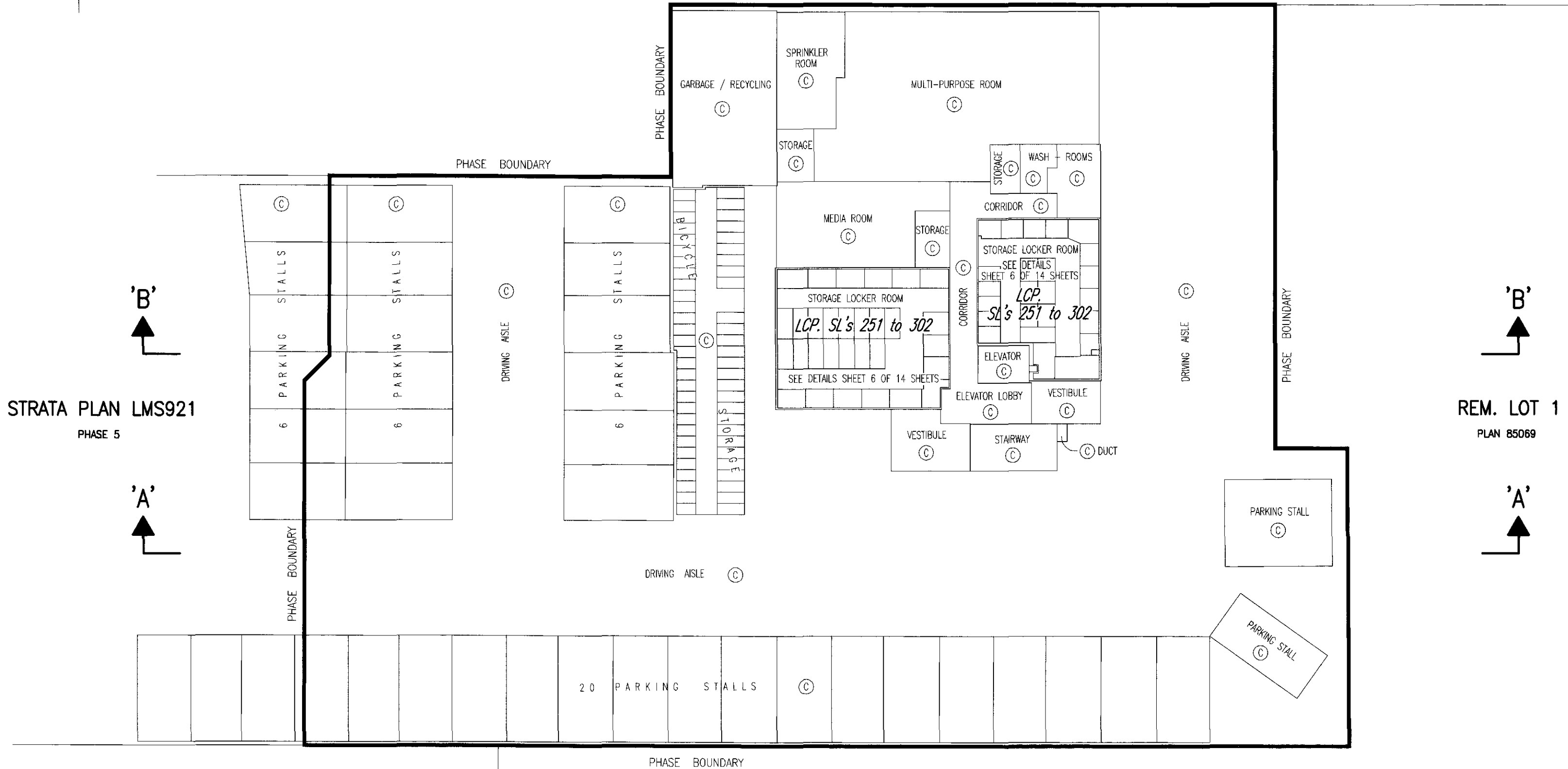


SCALE = 1 : 200

STRATA PLAN LMS921

PHASE 1

PHASE BOUNDARY



STRATA PLAN LMS921

PHASE 5

REM. LOT 1

PLAN 85069

STRATA PLAN LMS921

PHASE 4

W.S.

....., B.C.L.S.
JUNE 14th, 2005

FILE: 2588-4

DWG.: 2097

ORIGINAL

EXPLANATORY PLAN AMENDING STRATA PLAN LMS921, PHASE 6, TO DESIGNATE PARKING STALLS AS LIMITED COMMON PROPERTY FOR THE EXCLUSIVE USE OF STRATA LOTS 156, 251, 258, 259, 263, 264, 266, 268, 270 TO 272, 276, 277, 281, 283 TO 285, 289, 290, 294, 296 TO 298, 300, 302.

PHASE 6 STRATA PLAN LMS 921

DEPOSITED AND REGISTERED IN THE LAND TITLE OFFICE
AT NEW WESTMINSTER, B.C.
THIS 22ND DAY OF July, 2005

PURSUANT TO SECTION 258 (1) OF THE STRATA PROPERTY ACT.
B.C.G.S. 92G.016
THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT.

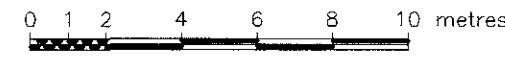
PARKING LEVEL P1

I. MacDonald/os
DEPUTY REGISTRAR

BX 254232

"GUILDFORD PARK PLACE"

CIVIC ADDRESS:
14877 - 100th Avenue
SURREY, B.C.



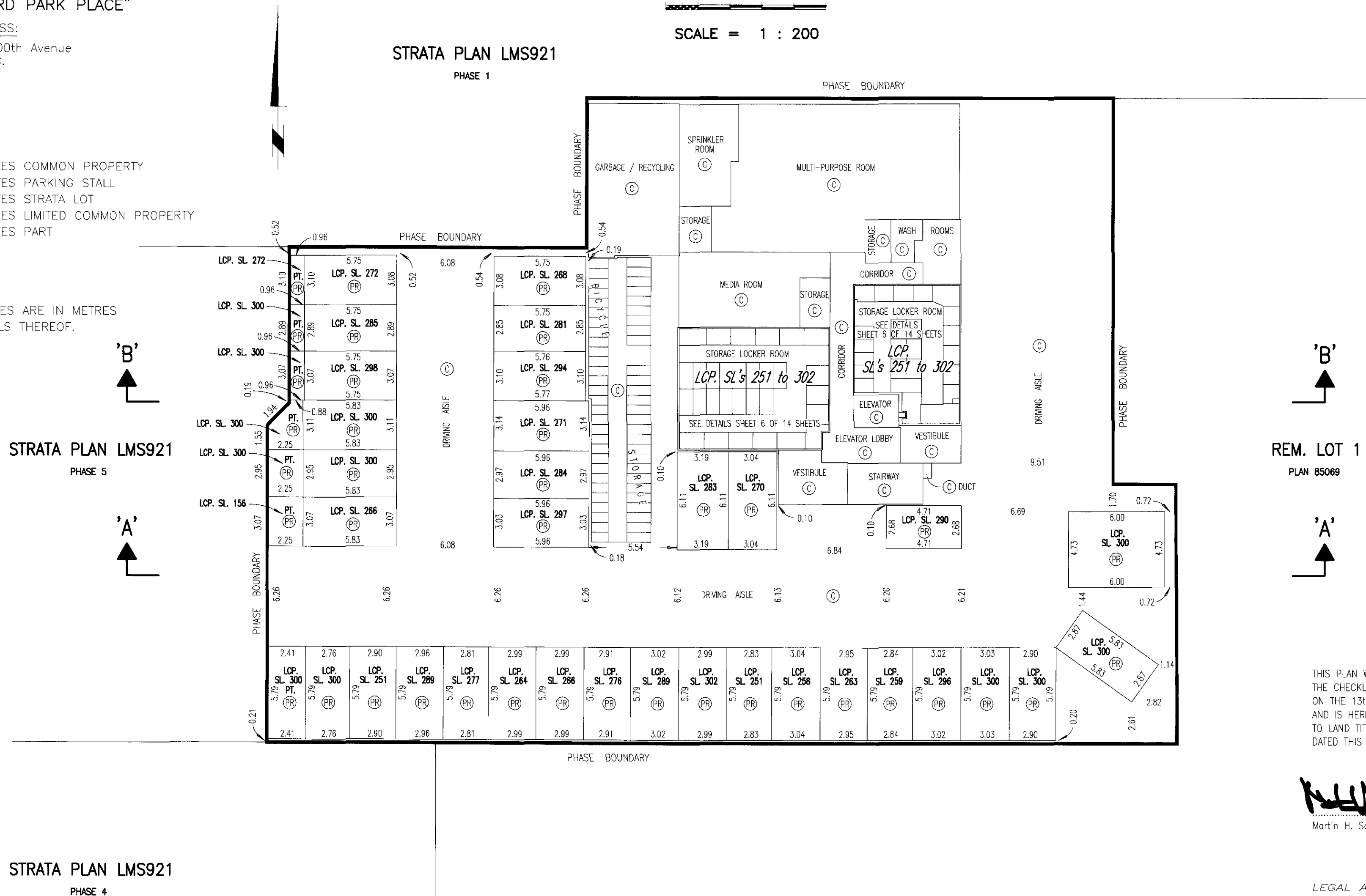
SCALE = 1 : 200

LEGEND:

- (C) INDICATES COMMON PROPERTY
- (P) INDICATES PARKING STALL
- SL. INDICATES STRATA LOT
- LCP. INDICATES LIMITED COMMON PROPERTY
- PT. INDICATES PART

NOTES:

ALL DISTANCES ARE IN METRES
AND DECIMALS THEREOF.



'B'
↑
REM. LOT 1
PLAN 85069
↑
'A'
↑

THIS PLAN WAS COMPLETED AND CHECKED, AND
THE CHECKLIST FILED UNDER # ECP-34195,
ON THE 13th DAY OF JULY, 2005,
AND IS HEREBY CERTIFIED CORRECT ACCORDING
TO LAND TITLE OFFICE RECORDS:
DATED THIS 13th DAY OF JULY, 2005.

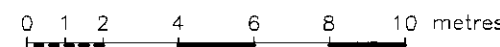
Martin H. Schulze
B.C.L.S.
Martin H. Schulze

LEGAL AND ENGINEERING SURVEYS
P.O. Box 19146, 1153 - 56th Street
DELTA, B.C. V4L 2P8
TEL: (604)522-1616 FAX: (604)943-5054
e-mail: schulze@telus.net

FILE: 2588-4 DWG.: 2097B REV.: 0

PHASE 6 STRATA PLAN LMS 921

1st FLOOR



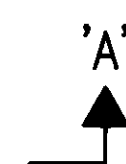
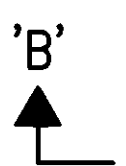
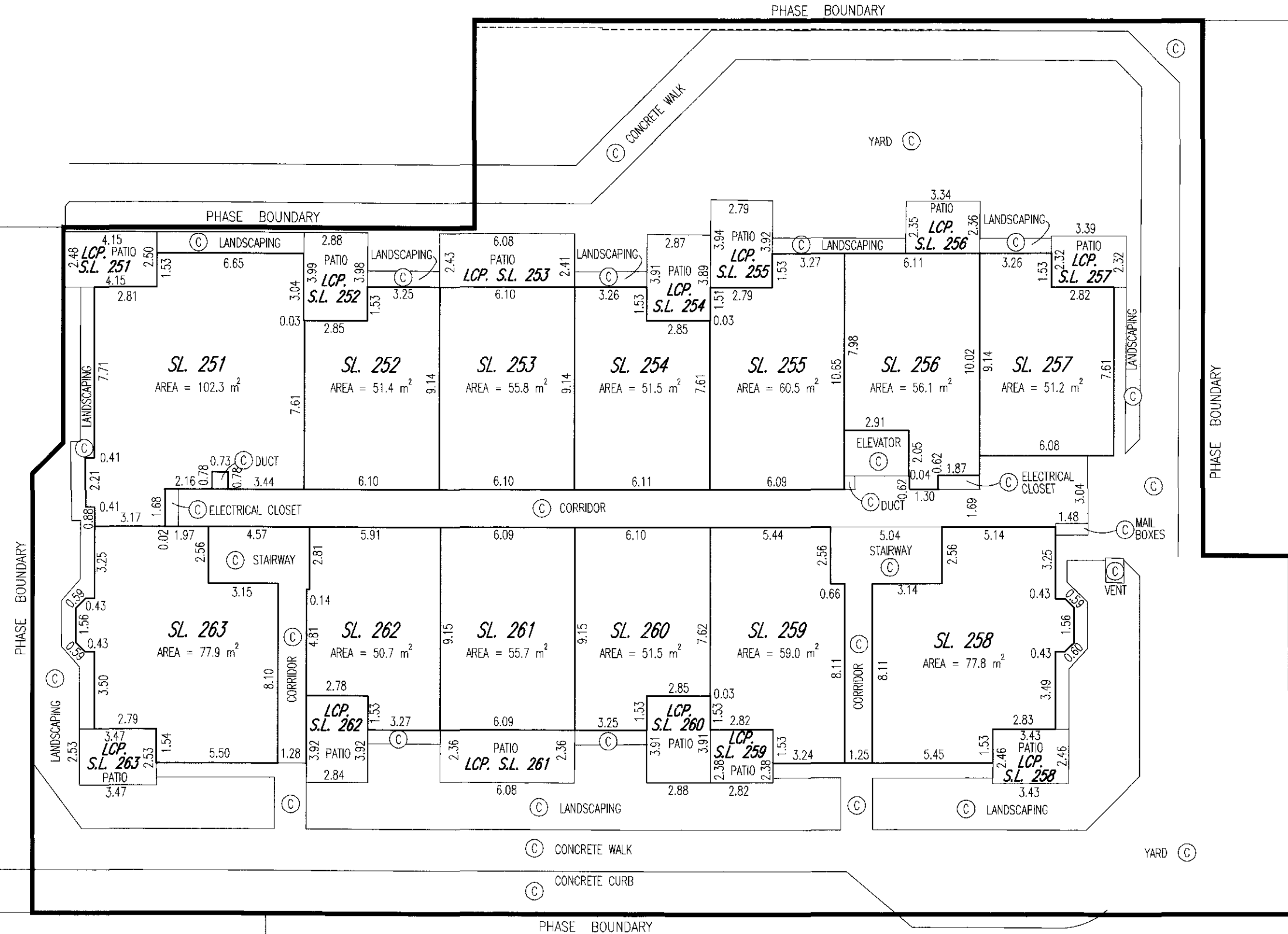
SCALE = 1 : 200

STRATA PLAN LMS921
PHASE 1

STRATA PLAN LMS921
PHASE 5

STRATA PLAN LMS921
PHASE 4

REM. LOT 1
PLAN 85069



NAR
....., B.C.L.S.
JUNE 14th, 2005

FILE: 2588-4
DWG: 2097

ORIGINAL

PHASE 6 STRATA PLAN LMS 921

2nd FLOOR



SCALE = 1 : 200

STRATA PLAN LMS921
PHASE 1



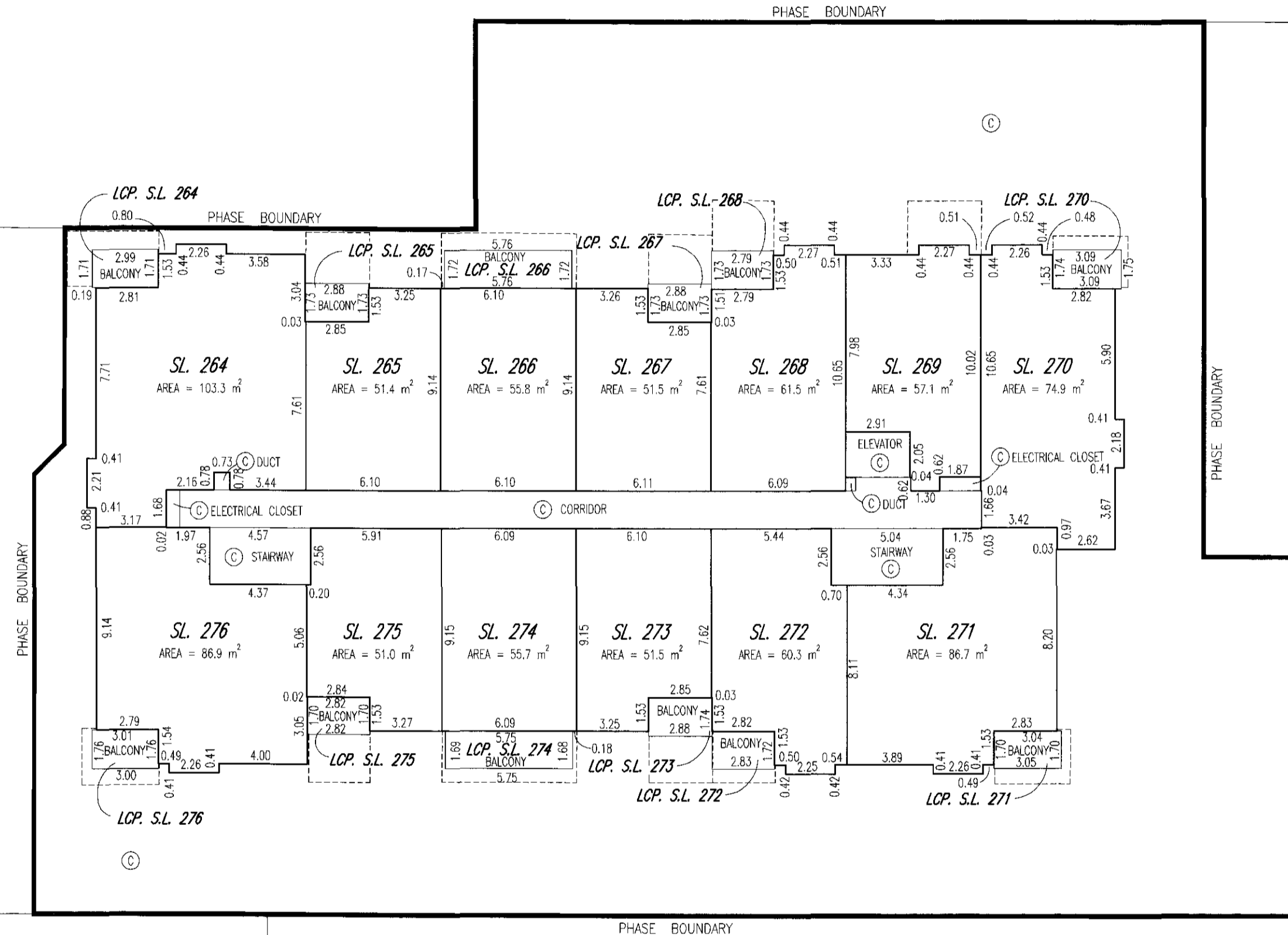
STRATA PLAN LMS921
PHASE 5



REM. LOT 1
PLAN 85069



STRATA PLAN LMS921
PHASE 4



W.S.K.
....., B.C.L.S.
JUNE 14th, 2005

FILE: 2588-4
DWG.: 2097

ORIGINAL

PHASE 6 STRATA PLAN LMS 921

3rd FLOOR

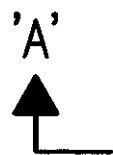
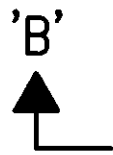


SCALE = 1 : 200

STRATA PLAN LMS921
PHASE 1

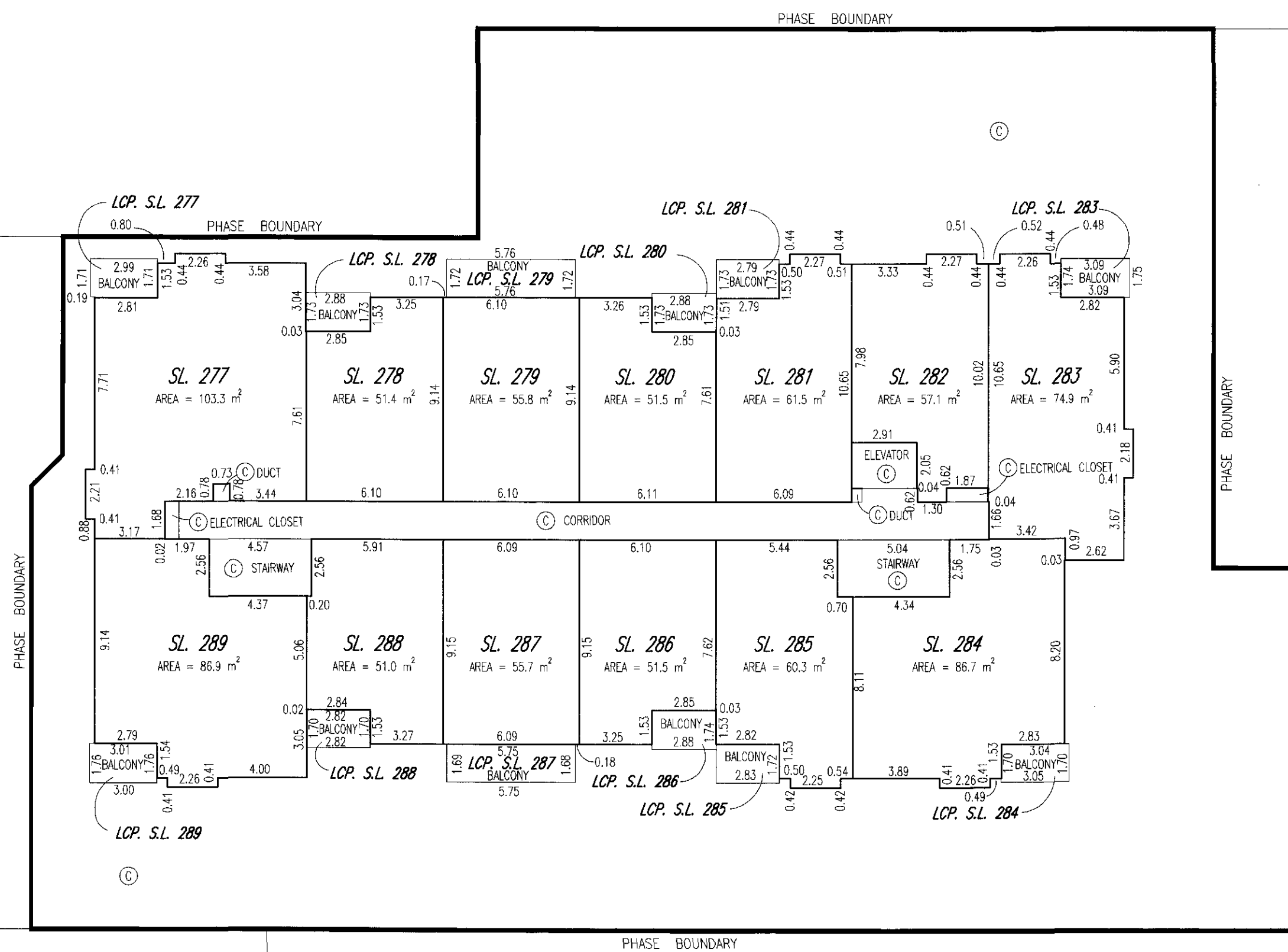
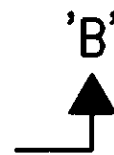


STRATA PLAN LMS921
PHASE 5



STRATA PLAN LMS921
PHASE 4

REM. LOT 1
PLAN 85069



Handwritten signature
....., B.C.L.S.
JUNE 14th, 2005

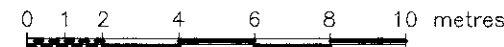
FILE: 2588-4
DWG.: 2097

ORIGINAL

PHASE 6 STRATA PLAN LMS 921

4th FLOOR

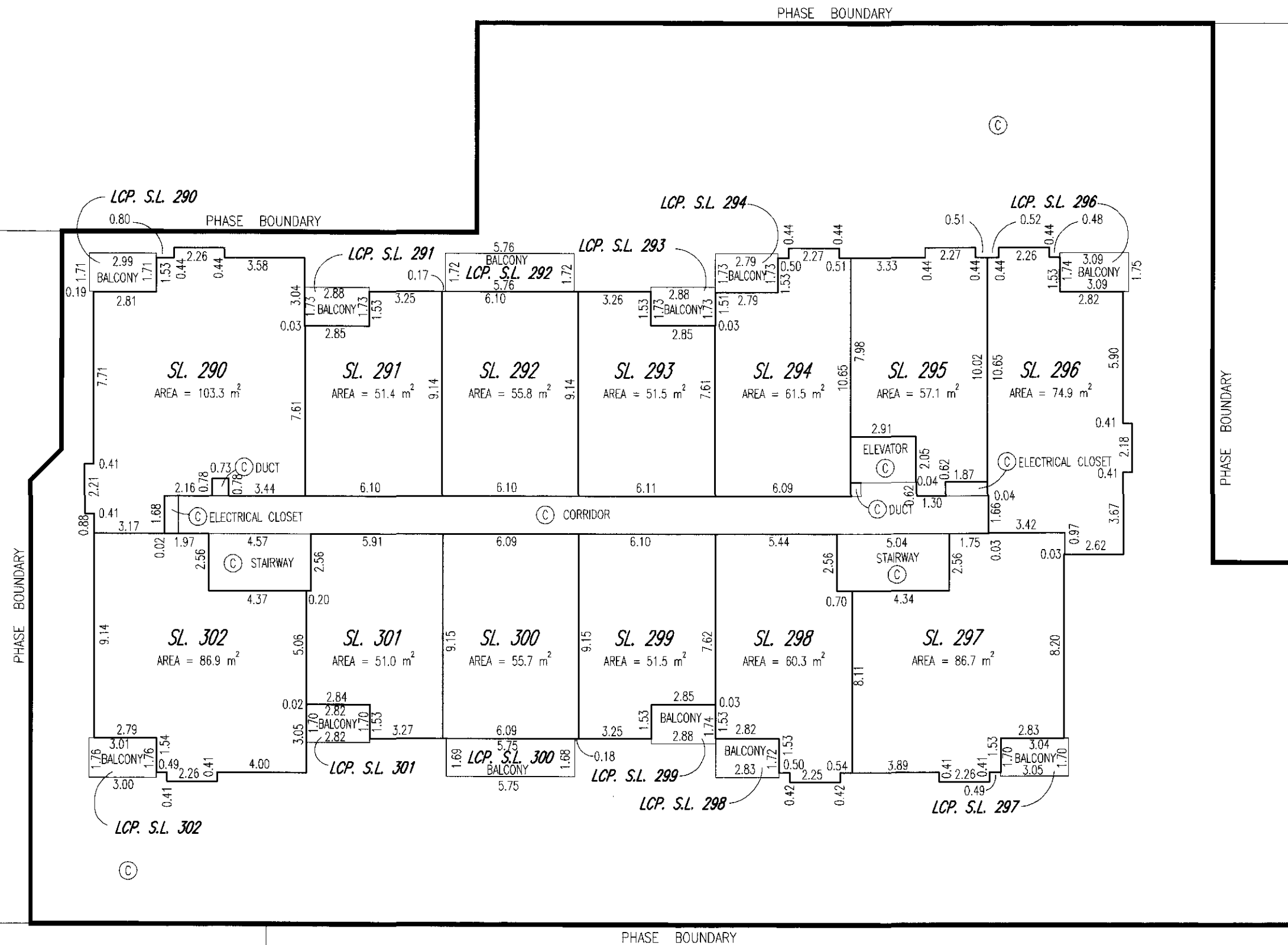
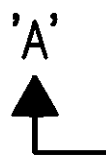
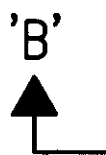
STRATA PLAN LMS921
PHASE 1



SCALE = 1 : 200



STRATA PLAN LMS921
PHASE 5



REM. LOT 1
PLAN 85069



STRATA PLAN LMS921
PHASE 4

NLS.
....., B.C.L.S.
JUNE 14th, 2005

FILE: 2588-4
DWG.: 2097

ORIGINAL

PHASE 6
STRATA PLAN LMS 921

ATTIC

0 1 2 4 6 8 10 metres

SCALE = 1 : 200

STRATA PLAN LMS921
PHASE 1



PHASE BOUNDARY

PHASE BOUNDARY

'B'



STRATA PLAN LMS921
PHASE 5

'A'



PHASE BOUNDARY

Ⓢ ATTIC

EXHAUST FAN ROOM
Ⓢ

Ⓢ CORRIDOR

WATER HEATER ROOM
Ⓢ

STAIRWAY
Ⓢ

'B'



REM. LOT 1
PLAN 85069

'A'



PHASE BOUNDARY

PHASE BOUNDARY

STRATA PLAN LMS921
PHASE 4

NKS.

....., B.C.L.S.
JUNE 14th, 2005

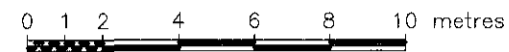
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DWG.: 2097

ORIGINAL

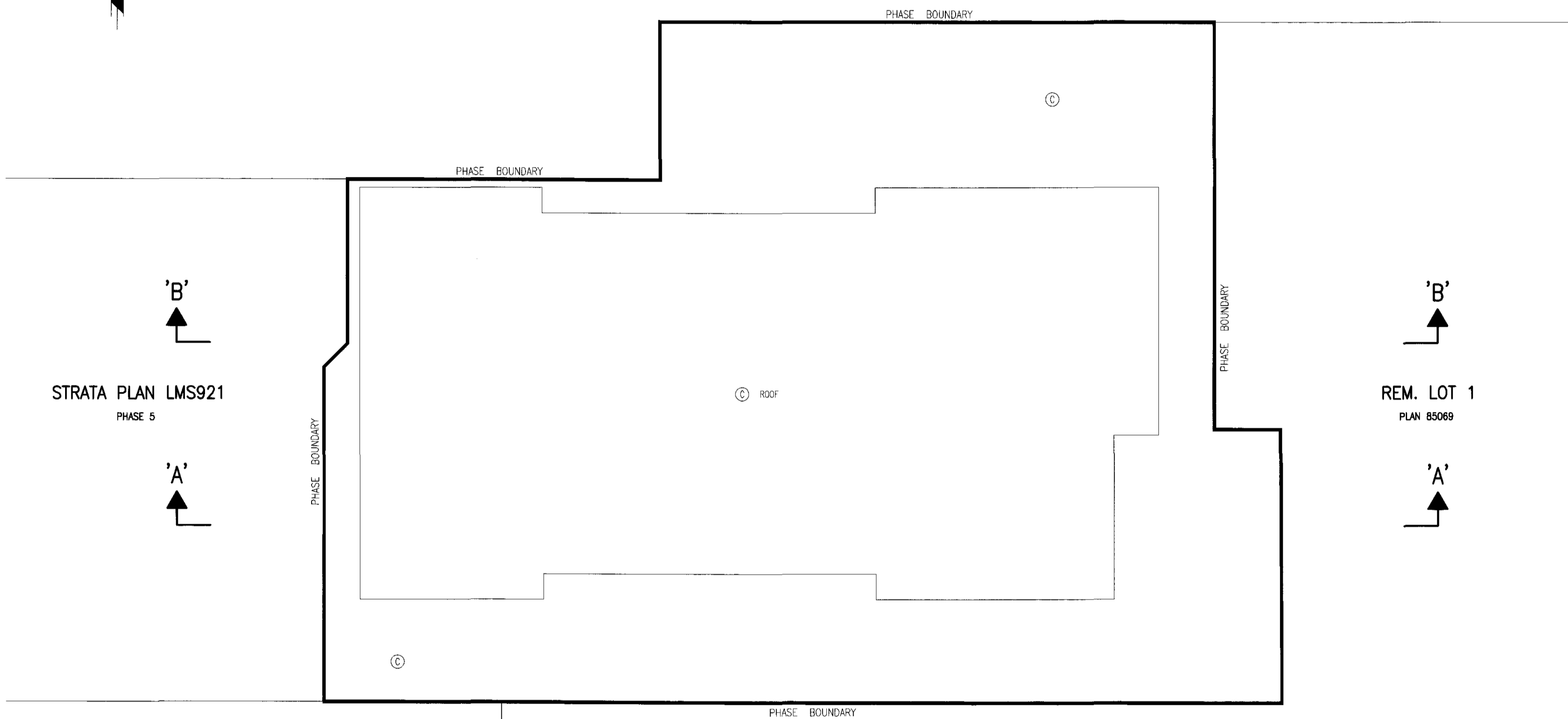
PHASE 6 STRATA PLAN LMS 921

ROOF



SCALE = 1 : 200

STRATA PLAN LMS921
PHASE 1



'B'
↑
STRATA PLAN LMS921
PHASE 5

'A'
↑

STRATA PLAN LMS921
PHASE 4

'B'
↑
REM. LOT 1
PLAN 85069

'A'
↑

LMS.
....., B.C.L.S.
JUNE 14th, 2005

FILE: 2588-4
DWG.: 2097

**STRATA PLAN OF PART OF LOT 1,
EXCEPT: PHASES 1 TO 6 STRATA PLAN LMS921,
SECTION 29, BLOCK 5 NORTH, RANGE 1 WEST,
NEW WESTMINSTER DISTRICT, PLAN 85069.**

"THE CITY OF SURREY"
B.C.G.S. 92G.016

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT

"GUILDFORD PARK PLACE"
CIVIC ADDRESS:

14855 - 100th Avenue
SURREY, B.C.

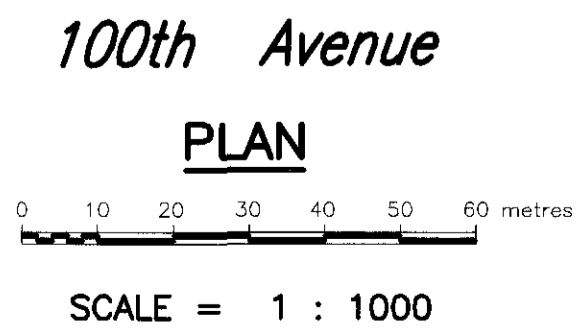
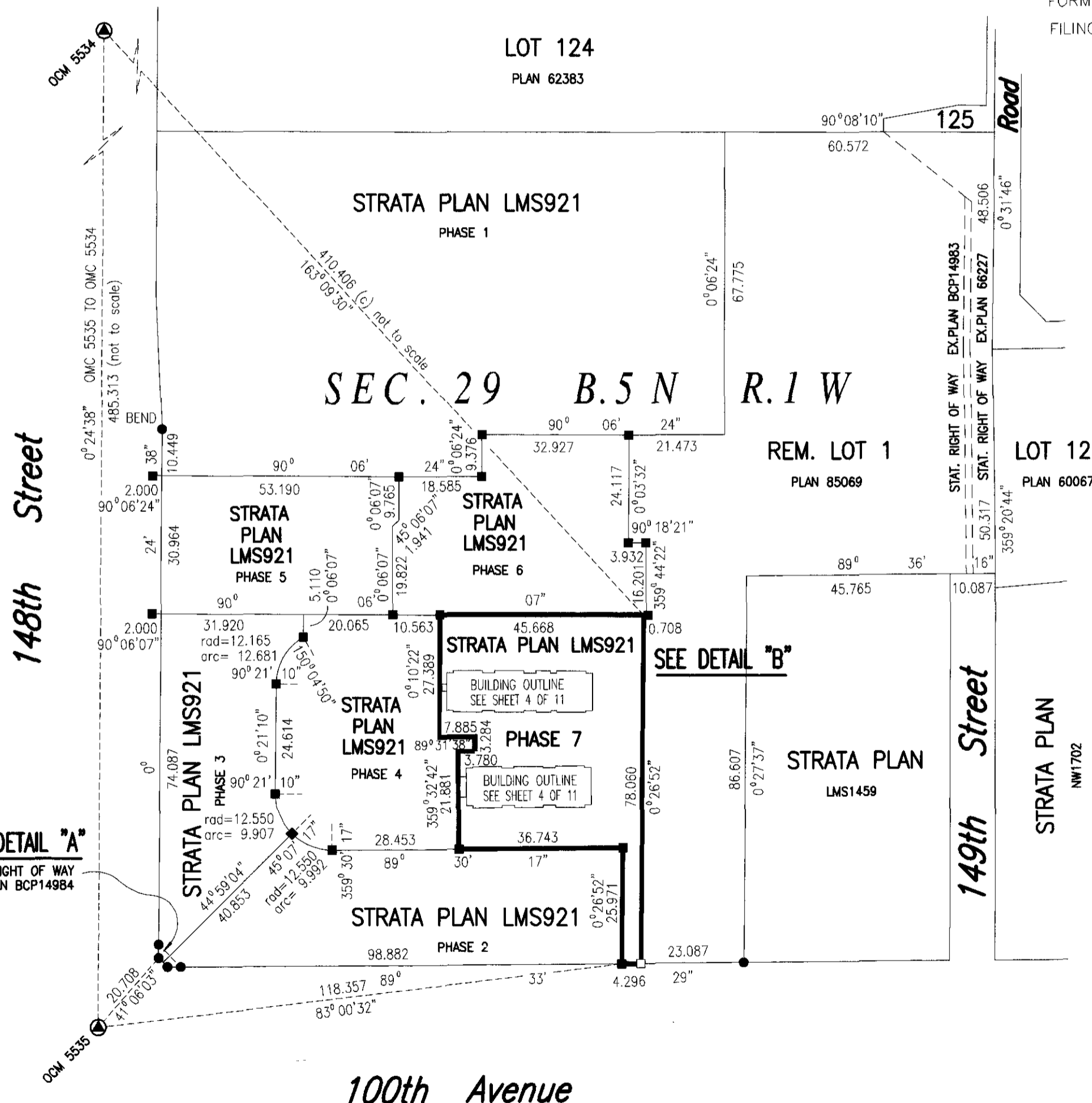
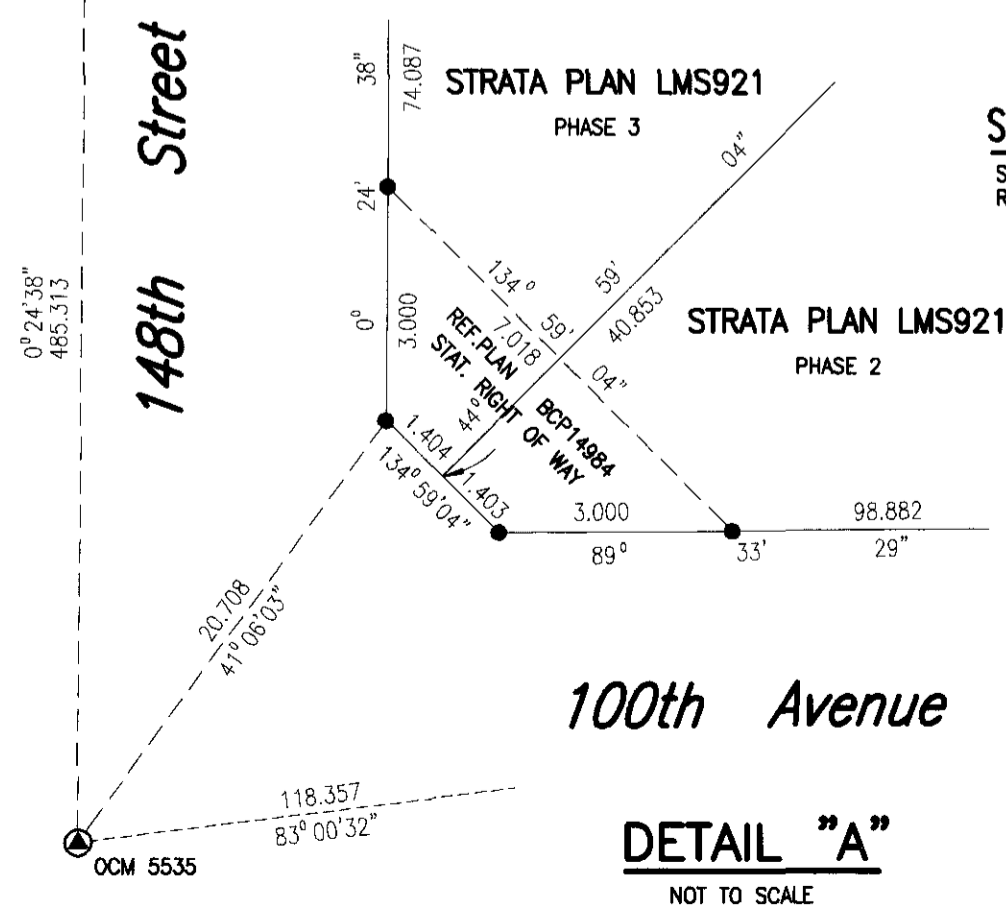
LEGEND:

- ⊙ INDICATES CONTROL MONUMENT FOUND
- INDICATES STANDARD IRON POST FOUND
- INDICATES LEAD PLUG PLACED
- m² INDICATES SQUARE METRES
- c INDICATES CALCULATED
- S.L. INDICATES STRATA LOT
- L.C.P. INDICATES LIMITED COMMON PROPERTY
- PT. INDICATES PART
- ⊕ INDICATES COMMON PROPERTY
- ⊖ INDICATES GARAGE
- ⊗ INDICATES WALKWAY
- ⊘ INDICATES YARD
- ⊙ INDICATES CONCRETE PAD
- ⊚ INDICATES DRIVEWAY
- ⊛ INDICATES STAIRS
- ⊜ INDICATES DECK

NOTES:

- ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE INDICATED.
- GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN CONTROL MONUMENTS 5534 AND 5535, NAD 83 (CSRS).
- THIS PLAN SHOWS GROUND LEVEL MEASURED DISTANCES. PRIOR TO COMPUTATION OF U.T.M. COORDINATES, MULTIPLY BY COMBINED FACTOR 0.99958955.

INTEGRATED SURVEY AREA No. 1, CITY OF SURREY.

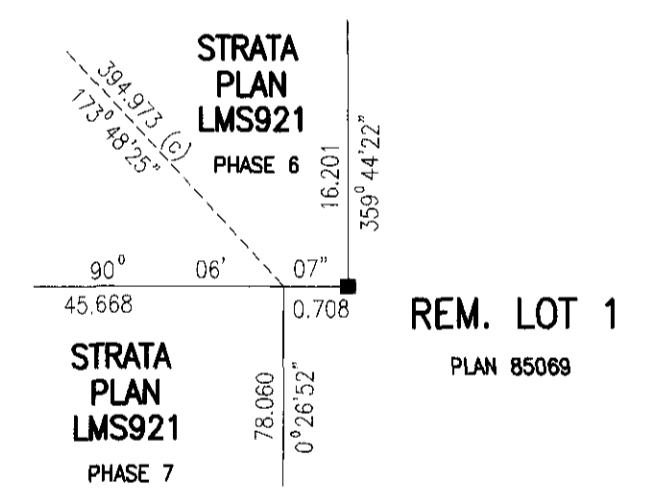


**PHASE 7
STRATA PLAN LMS 921**

DEPOSITED IN THE LAND TITLE OFFICE AT
NEW WESTMINSTER, BRITISH COLUMBIA.
THIS 22ND DAY OF July, 2005

I. MacDonald Ips
DEPUTY REGISTRAR
BX254233 - BX254245

FORM "P" BX544093
FILING No.:



I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR OF DELTA IN BRITISH COLUMBIA CERTIFY THAT I WAS PRESENT AT AND PERSONALLY SUPERINTENDED THE SURVEY REPRESENTED BY THIS PLAN AND THAT THE SURVEY AND PLAN ARE CORRECT. THE FIELD SURVEY WAS COMPLETED ON THE 11th DAY OF MARCH, 2005. THE PLAN WAS COMPLETED AND CHECKED, AND THE CHECKLIST FILED UNDER # ECP-33630, ON THE 4th DAY OF JULY, 2005.

M. Schulze
MARTIN HANS SCHULZE B.C.L.S.

THE ADDRESS FOR SERVICE OF DOCUMENTS ON THE STRATA CORPORATION IS:

THE OWNERS, STRATA PLAN LMS921
c/o CLARK, WILSON, BARRISTERS & SOLICITORS
800 - 885 WEST GEORGIA STREET
VANCOUVER, B.C., CANADA
V6C 3H1

SCHULZE & ASSOCIATES
LEGAL AND ENGINEERING SURVEYS
P.O. Box 19146, 1153 - 56th Street
DELTA, B.C. V4L 2P8
TEL: (604)522-1616 FAX: (604)943-5054
e-mail: schulze@telus.net
FILE: 2588-4 DWG.: 2102 REV.: 0

PHASE 7
STRATA PLAN LMS 921
.....

SIGNATURES

OWNER/DEVELOPER
GUILDFORD PARK ENTERPRISES LTD.
(INCORPORATION No. 348458)

ACCEPTED AS TO FORMS 1 AND 2

THIS 13th DAY OF July, 2005

Allen Lai
AUTHORIZED SIGNATORY
Allen Lai

Alma-Grisson
SUPERINTENDENT OF REAL ESTATE

Jane Glanville
AUTHORIZED SIGNATORY

WITNESS AS TO ABOVE SIGNATURES
Jane Glanville
800-885 West Georgia Street
Vancouver, BC V6C 3H1

ADDRESS OF WITNESS
Lawyer
OCCUPATION OF WITNESS

APPROVED AS TO PHASE 7 OF A 10 PHASE STRATA PLAN
UNDER THE CONDOMINIUM ACT.

THIS 20th DAY OF July, 2005.

MORTGAGEE
HSBC BANK CANADA

[Signature]
APPROVING OFFICER
CITY OF SURREY

[Signature]
AUTHORIZED SIGNATORY
JOHN DAVIS

STATUTORY DECLARATION

I, THE UNDERSIGNED DO SOLEMNLY DECLARE THAT
1) I, THE UNDERSIGNED AM THE DULY AUTHORIZED
AGENT OF THE OWNER/DEVELOPER.
2) THE STRATA PLAN IS ENTIRELY FOR RESIDENTIAL USE.
I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY
BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF
THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

[Signature]
AUTHORIZED SIGNATORY
PAUL HATHESON

[Signature]
WITNESS AS TO ABOVE SIGNATURES
SANDY HAYER

Allen Lai
Vancover

DECLARED BEFORE ME AT
IN THE PROVINCE OF BRITISH COLUMBIA
THIS 7th DAY OF July, 2005

200-885 W. GEORGIA ST.
VANCOUVER, BC V6C 3G1
ADDRESS OF WITNESS

Jane Glanville
A COMMISSIONER FOR TAKING AFFIDAVITS
WITHIN THE PROVINCE OF BRITISH COLUMBIA

SR. COMMERCIAL FINANCIAL SERVICES OFFICER
OCCUPATION OF WITNESS

I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR
CERTIFY THAT THE BUILDINGS INCLUDED IN THIS STRATA PLAN
HAVE NOT, AS OF JULY 4th, 2005 BEEN PREVIOUSLY OCCUPIED.

I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR
CERTIFY THAT THE BUILDINGS SHOWN ON THIS STRATA PLAN ARE
WITHIN THE EXTERNAL BOUNDARIES OF THE LAND THAT IS THE
SUBJECT OF THE STRATA PLAN.
DATE: JULY 4th, 2005.

[Signature]
B.C.L.S.

[Signature]
B.C.L.S.

MKS
....., B.C.L.S.
JULY 4th, 2005

FILE: 2588-4
DWG: 2102

PHASE 7
STRATA PLAN LMS 921
.....

CONDOMINIUM ACT

STRATA LOT No.	UNIT No. (ADDRESS)	SHEET No.	FORM 1	FORM 2	FORM 3
			SCHEDULE OF UNIT ENTITLEMENT	SCHEDULE OF INTEREST UPON DESTRUCTION	SCHEDULE OF VOTING RIGHTS
			UNIT ENTITLEMENT	INTEREST UPON DESTRUCTION	NUMBER OF VOTES
303	16	5,6,7,8,9,10	1,451	2,185	1
304	17	5,6,7,8,9,10	1,451	2,160	1
305	18	5,6,7,8,9,10	1,451	2,160	1
306	19	5,6,7,8,9,10	1,449	2,160	1
307	20	5,6,7,8,9,10	1,451	2,160	1
308	21	5,6,7,8,9,10	1,452	2,185	1
309	44	5,6,7,8,9,10	1,451	2,185	1
310	45	5,6,7,8,9,10	1,451	2,160	1
311	46	5,6,7,8,9,10	1,451	2,160	1
312	47	5,6,7,8,9,10	1,450	2,160	1
313	48	5,6,7,8,9,10	1,450	2,160	1
314	49	5,6,7,8,9,10	1,451	2,160	1
315	50	5,6,7,8,9,10	1,450	2,185	1
PHASE 7 AGGREGATE			18,859	28,180	13
PHASE 1 AGGREGATE			174,386	276,397	165
PHASE 2 AGGREGATE			16,619	28,040	15
PHASE 3 AGGREGATE			12,222	20,370	11
PHASE 4 AGGREGATE			15,950	27,120	11
PHASE 5 AGGREGATE			32,774	58,762	48
PHASE 6 AGGREGATE			36,397	67,629	52
SUM OF AGGREGATES PHASES 1 TO 7			307,207	506,498	315

WAS.
....., B.C.L.S.
JULY 4th, 2005

FILE: 2588-4
DWG.: 2102

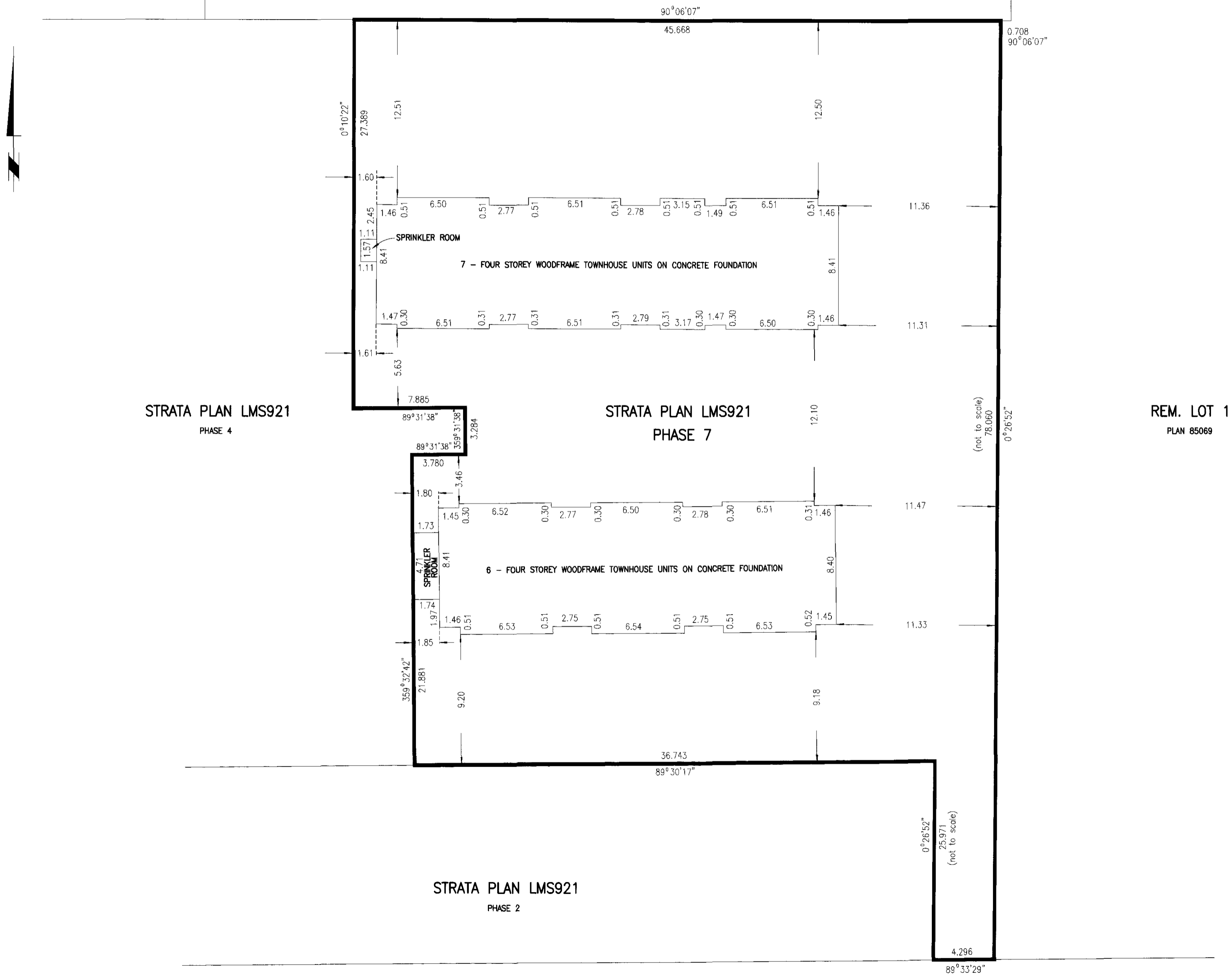
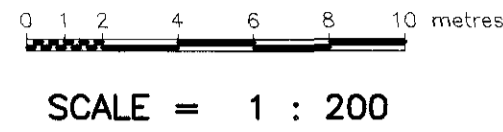
Original

BUILDINGS LOCATION AND DIMENSIONS

PHASE 7 STRATA PLAN LMS 921

STRATA PLAN LMS921
PHASE 5

STRATA PLAN LMS921
PHASE 6



STRATA PLAN LMS921
PHASE 4

STRATA PLAN LMS921
PHASE 7

REM. LOT 1
PLAN 85069

STRATA PLAN LMS921
PHASE 2

100th Avenue

NHS.
....., B.C.L.S.
JULY 4th, 2005

FILE: 2588-4
DWG.: 2102

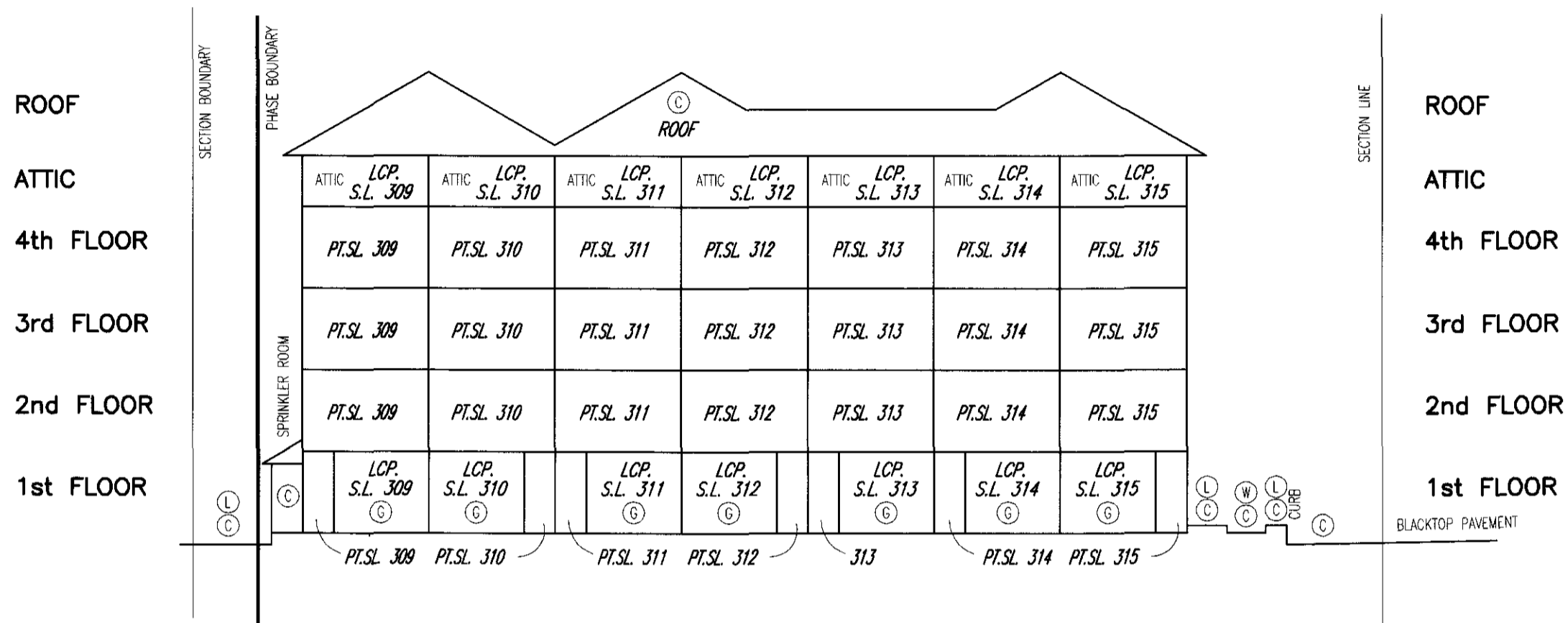
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PHASE 7
STRATA PLAN LMS 921
.....

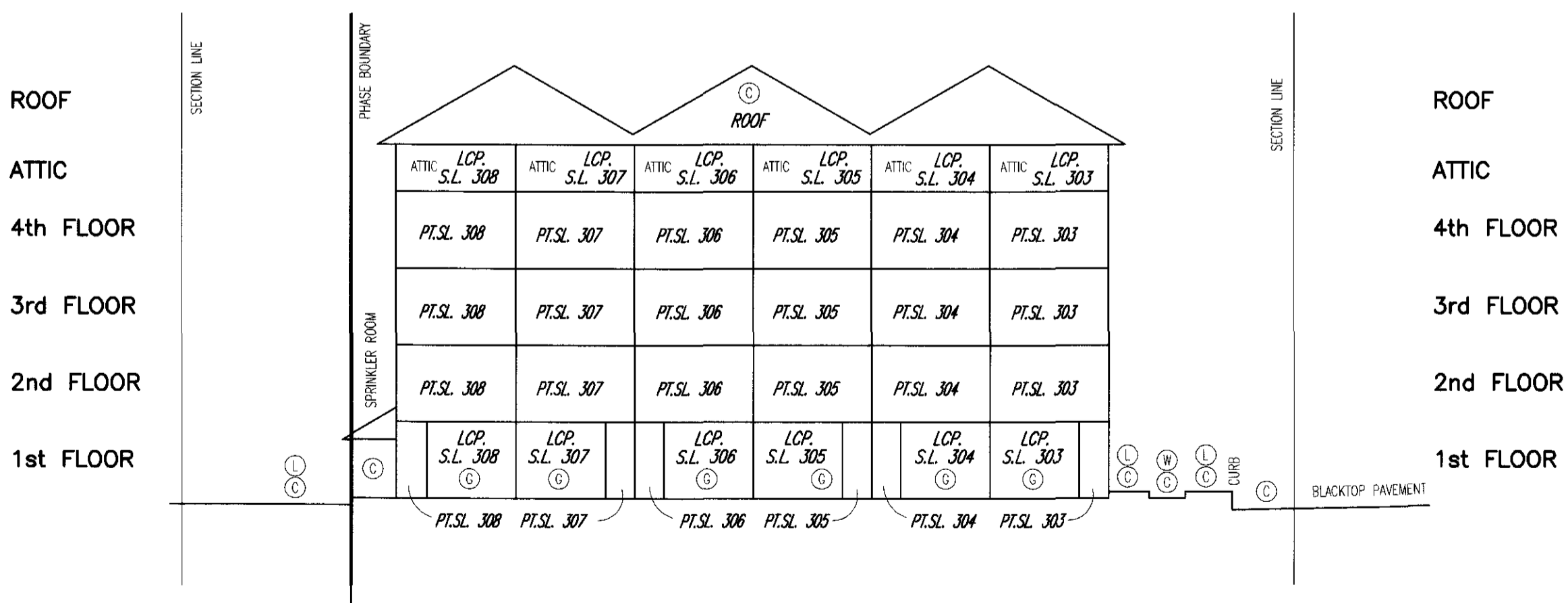
SECTIONS



HORIZONTAL SCALE = 1 : 200
VERTICAL NOT TO SCALE



SECTION 'B'-'B'



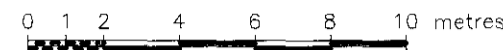
SECTION 'A'-'A'

W.S.
....., B.C.L.S.
JULY 4th, 2005

FILE: 2588-4
DWG.: 2102

Original

1st FLOOR



SCALE = 1 : 200

PHASE 7
STRATA PLAN LMS 921

STRATA PLAN LMS921
PHASE 5

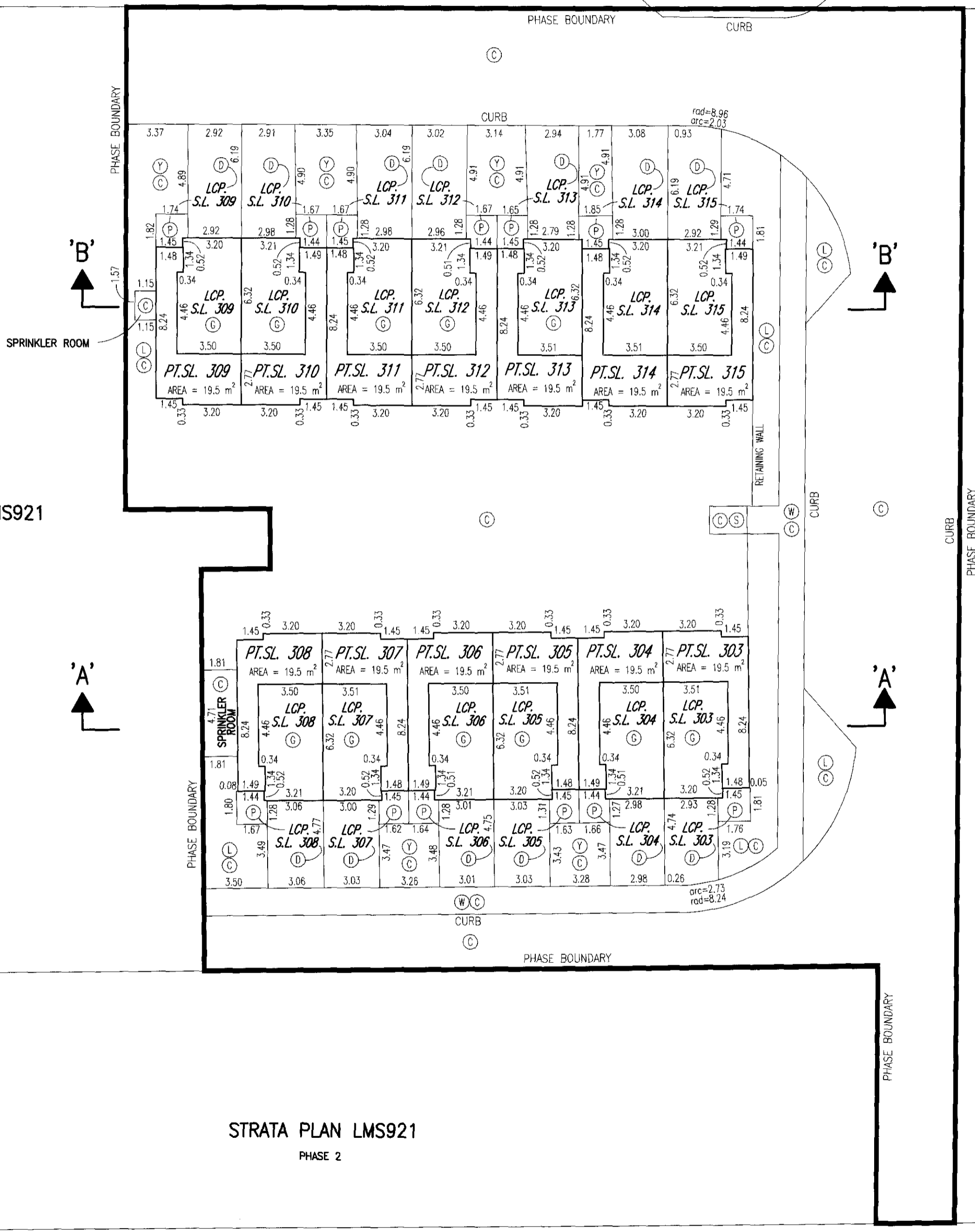
STRATA PLAN LMS921
PHASE 6

STRATA PLAN LMS921
PHASE 4

REM. LOT 1
PLAN 85069

STRATA PLAN LMS921
PHASE 2

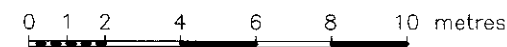
100th Avenue



NLS.
....., B.C.L.S.
JULY 4th, 2005
FILE: 2588-4
DWG.: 2102

Original

2nd FLOOR



SCALE = 1 : 200

PHASE 7 STRATA PLAN LMS 921

STRATA PLAN LMS921
PHASE 5

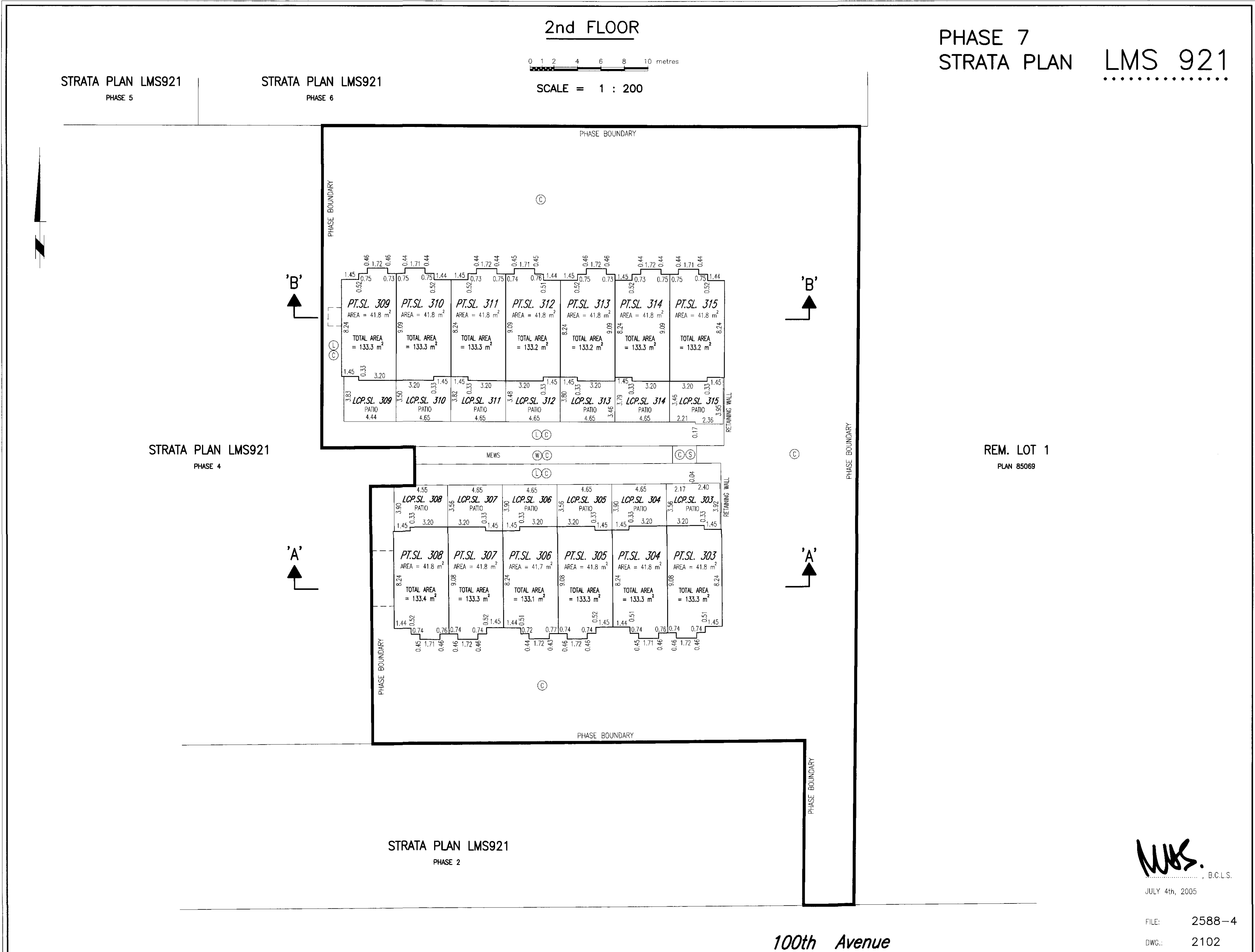
STRATA PLAN LMS921
PHASE 6

STRATA PLAN LMS921
PHASE 4

REM. LOT 1
PLAN 85069

STRATA PLAN LMS921
PHASE 2

100th Avenue

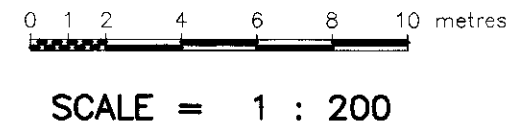


NBS.
B.C.L.S.
JULY 4th, 2005

FILE: 2588-4
DWG.: 2102

Original

3rd FLOOR



PHASE 7 STRATA PLAN LMS 921

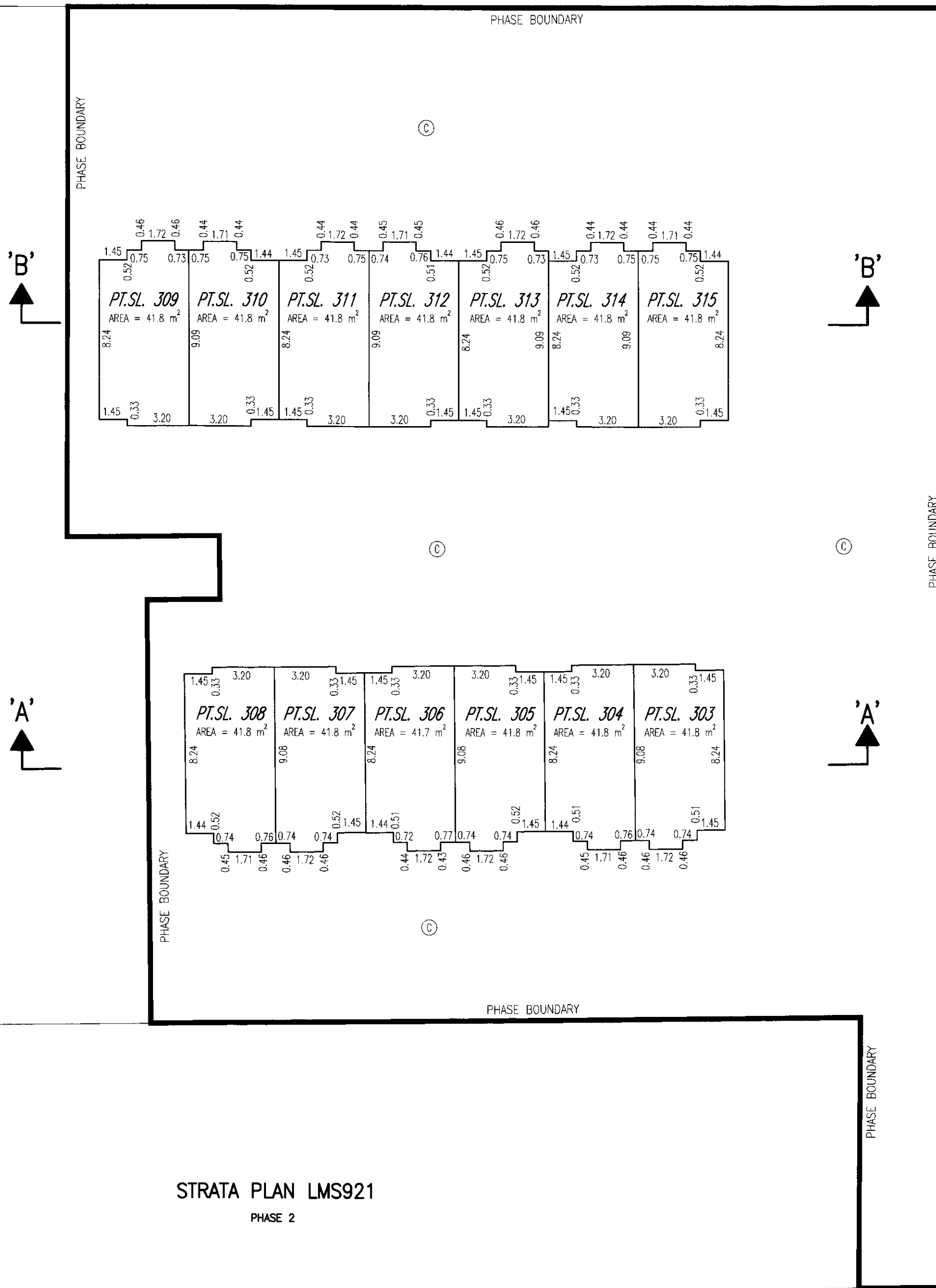
STRATA PLAN LMS921
PHASE 5

STRATA PLAN LMS921
PHASE 6

STRATA PLAN LMS921
PHASE 4

REM. LOT 1
PLAN 85069

STRATA PLAN LMS921
PHASE 2



100th Avenue

NLS.
....., B.C.L.S.
JULY 4th, 2005

FILE: 2588-4
DWG.: 2102

Original

4th FLOOR

0 1 2 4 6 8 10 metres

SCALE = 1 : 200

PHASE 7 STRATA PLAN LMS 921

STRATA PLAN LMS921
PHASE 5

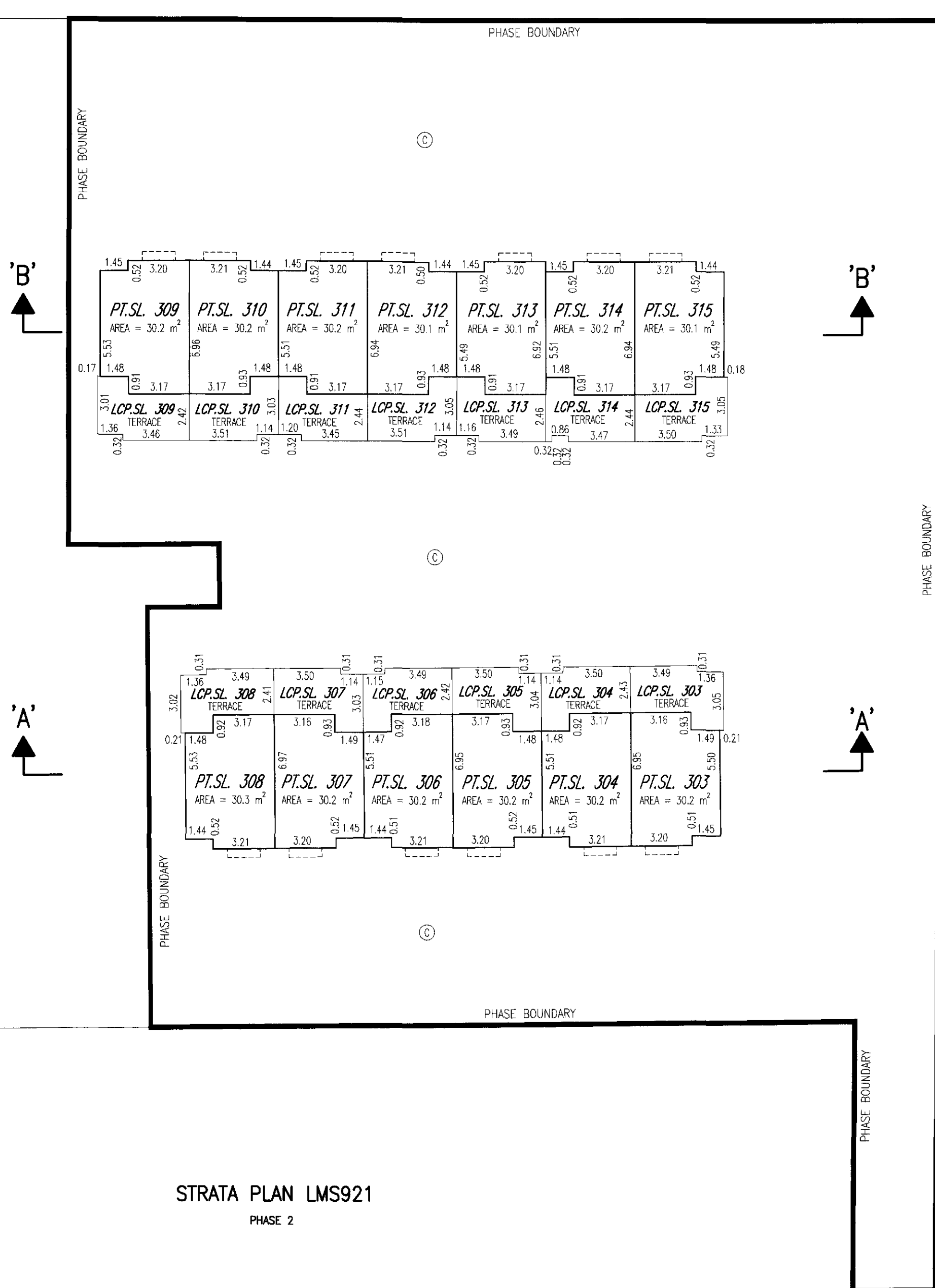
STRATA PLAN LMS921
PHASE 6

STRATA PLAN LMS921
PHASE 4

REM. LOT 1
PLAN 85069

STRATA PLAN LMS921
PHASE 2

100th Avenue

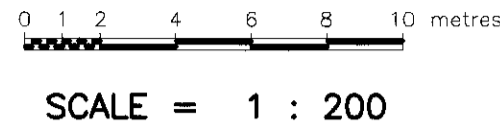


NLS.
....., B.C.L.S.
JULY 4th, 2005

FILE: 2588-4
DWG.: 2102

Original

ATTIC



PHASE 7 STRATA PLAN LMS 921

STRATA PLAN LMS921 PHASE 5

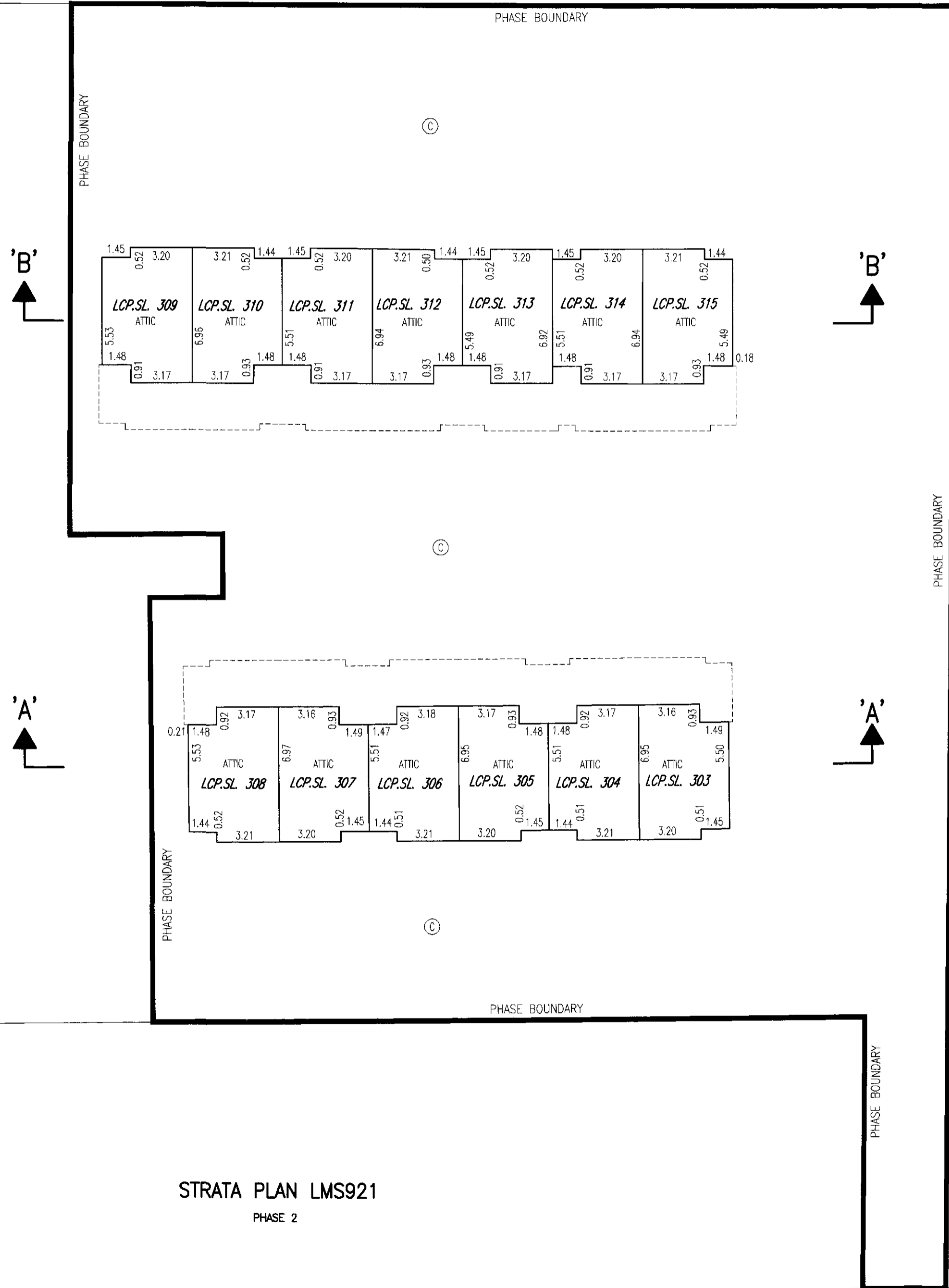
STRATA PLAN LMS921 PHASE 6

STRATA PLAN LMS921 PHASE 4

REM. LOT 1 PLAN 85069

STRATA PLAN LMS921 PHASE 2

100th Avenue

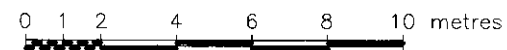


NKS, B.C.L.S. JULY 4th, 2005

FILE: 2588-4 DWG.: 2102

Original

ROOF



SCALE = 1 : 200

PHASE 7
STRATA PLAN

LMS 921
.....

STRATA PLAN LMS921
PHASE 5

STRATA PLAN LMS921
PHASE 6



STRATA PLAN LMS921
PHASE 4

REM. LOT 1
PLAN 85069

STRATA PLAN LMS921
PHASE 2

100th Avenue

NLS.
....., B.C.L.S.
JULY 4th, 2005

FILE: 2588-4
DWG.: 2102

Original

**STRATA PLAN OF PART OF LOT 1,
EXCEPT: PHASES 1 TO 7 STRATA PLAN LMS921,
SECTION 29, BLOCK 5 NORTH, RANGE 1 WEST,
NEW WESTMINSTER DISTRICT, PLAN 85069.**

"THE CITY OF SURREY"
B.C.G.S. 92G.016

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT

"GUILDFORD PARK PLACE"

CIVIC ADDRESS:

10090 & 10092 - 148th Street
SURREY, B.C.

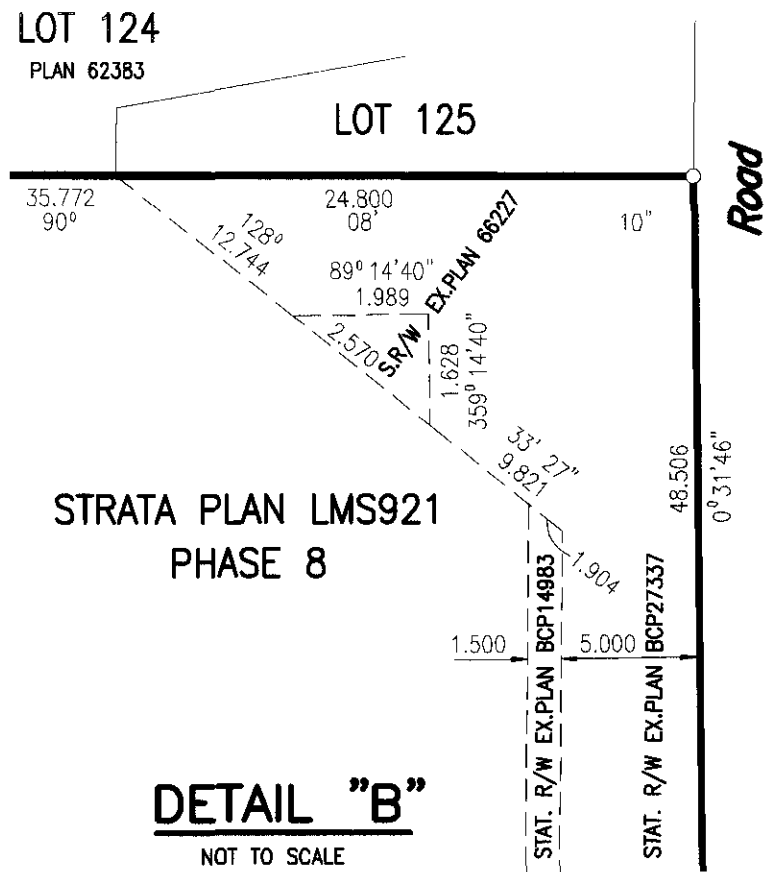
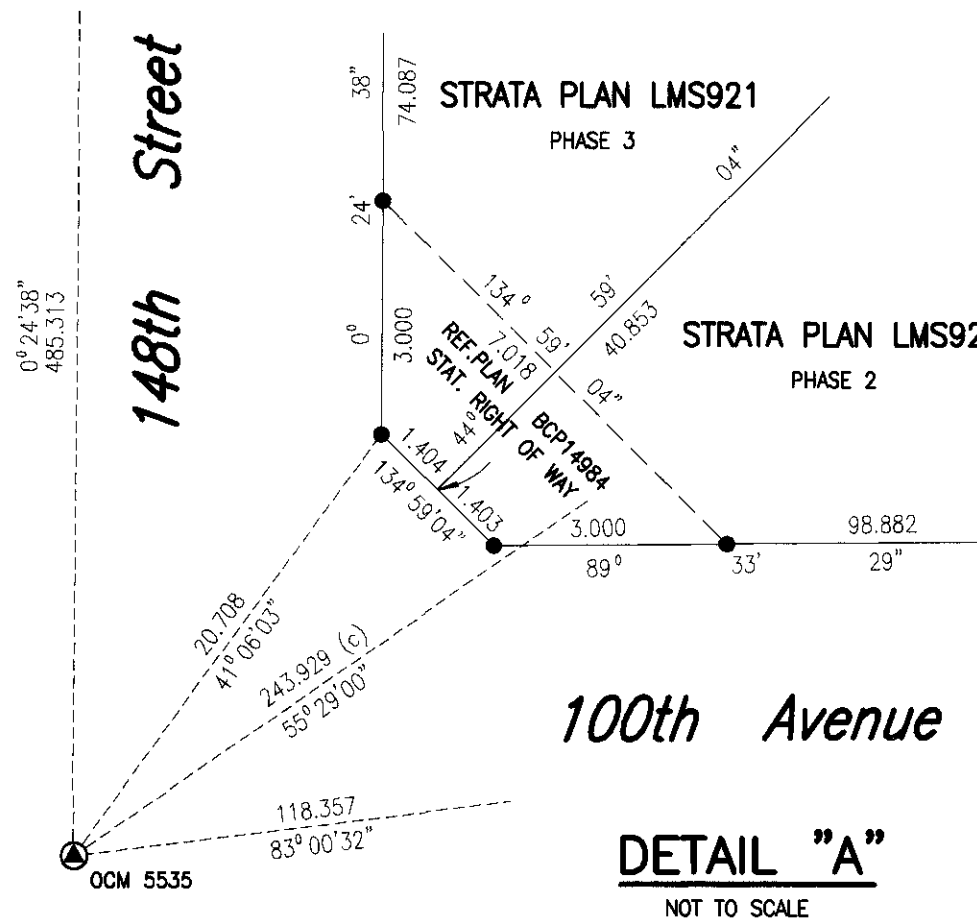
LEGEND:

- ⊙ INDICATES CONTROL MONUMENT FOUND
- INDICATES STANDARD IRON POST FOUND
- INDICATES LEAD PLUG FOUND
- INDICATES STANDARD IRON POST PLACED
- INDICATES LEAD PLUG PLACED
- m² INDICATES SQUARE METRES
- c INDICATES CALCULATED
- S.L. INDICATES STRATA LOT
- L.C.P. INDICATES LIMITED COMMON PROPERTY
- PT. INDICATES PART
- ⊙ INDICATES COMMON PROPERTY
- ⊙ INDICATES COMMON FACILITY
- ⊙ INDICATES GARAGE
- ⊙ INDICATES WALKWAY
- ⊙ INDICATES YARD
- ⊙ INDICATES CONCRETE PAD
- ⊙ INDICATES DRIVEWAY
- ⊙ INDICATES STAIRS
- ⊙ INDICATES DECK

NOTES:

- ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE INDICATED.
- GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN CONTROL MONUMENTS 5534 AND 5535, NAD 83 (CSRS).
- THIS PLAN SHOWS GROUND LEVEL MEASURED DISTANCES. PRIOR TO COMPUTATION OF U.T.M. COORDINATES, MULTIPLY BY COMBINED FACTOR 0.99958955.

INTEGRATED SURVEY AREA No. 1, CITY OF SURREY.

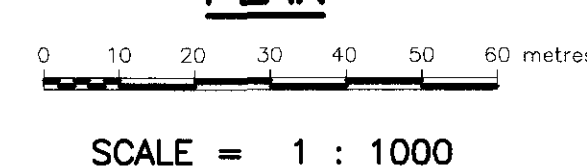
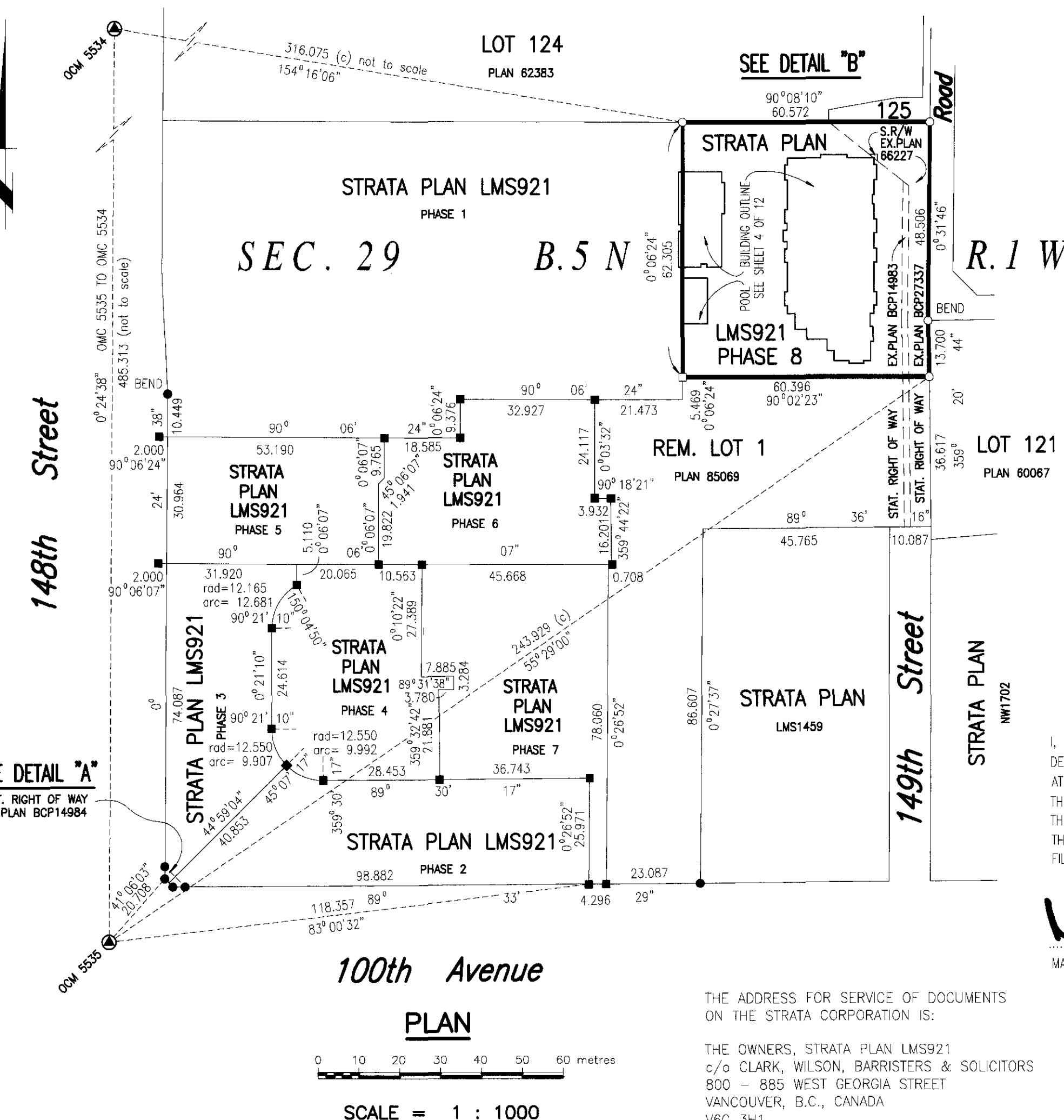


**PHASE 8
STRATA PLAN LMS 921**

DEPOSITED IN THE LAND TITLE OFFICE AT
NEW WESTMINSTER, BRITISH COLUMBIA.
THIS 25 DAY OF JAN, 2008

Jan MacDonald /et.
DEPUTY REGISTRAR
BB355229-264

FORM "P"
FILING No.: BB355228



I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR OF DELTA IN BRITISH COLUMBIA CERTIFY THAT I WAS PRESENT AT AND PERSONALLY SUPERINTENDED THE SURVEY REPRESENTED BY THIS PLAN AND THAT THE SURVEY AND PLAN ARE CORRECT. THE FIELD SURVEY WAS COMPLETED ON THE 24th DAY OF NOVEMBER, 2006. THE PLAN WAS COMPLETED AND CHECKED, AND THE CHECKLIST FILED UNDER ECP # 57890, ON THE 28th DAY OF NOVEMBER, 2006.

Martin Hans Schulze
MARTIN HANS SCHULZE, B.C.L.S.

THE ADDRESS FOR SERVICE OF DOCUMENTS ON THE STRATA CORPORATION IS:

THE OWNERS, STRATA PLAN LMS921
c/o CLARK, WILSON, BARRISTERS & SOLICITORS
800 - 885 WEST GEORGIA STREET
VANCOUVER, B.C., CANADA
V6C 3H1

SCHULZE & ASSOCIATES
LEGAL AND ENGINEERING SURVEYS
P.O. Box 19146, 1153 - 56th Street
DELTA, B.C. V4L 2P8
TEL.: (604)522-1616 FAX: (604)943-5054
e-mail: schulze@telus.net
FILE: 2588-5 DWG: 2144 REV: 0

PHASE 8
STRATA PLAN LMS 921
.....

SIGNATURES

OWNER/DEVELOPER
GUILDFORD PARK ENTERPRISES LTD.
(INCORPORATION No. 348458)

Allen Lai
AUTHORIZED SIGNATORY

AUTHORIZED SIGNATORY

Rantoo Minhas
WITNESS AS TO ABOVE SIGNATURES

603-1740 WEST PENDER, VANCOUVER
ADDRESS OF WITNESS

CONSTRUCTION MANAGER
OCCUPATION OF WITNESS

ACCEPTED AS TO FORMS 1 AND 2

THIS 12 DAY OF December, 2006

Alia Galvez
SUPERINTENDENT OF REAL ESTATE

SECTION 8 (2)
CERTIFICATE OF APPROVAL

I HEREBY CERTIFY THAT THE COMMON FACILITIES
(AMENITY BUILDING AND POOL) WHICH ACCORDING TO
FORM "P" OF THE ACT WERE TO HAVE BEEN CONSTRUCTED
IN CONJUNCTION WITH THIS PHASE, HAVE BEEN
SATISFACTORILY PROVIDED FOR.

THIS 23rd DAY OF January, 2007

J. Robb
APPROVING OFFICER
CITY OF SURREY

APPROVED AS TO PHASE 8 OF A 10 PHASE STRATA PLAN
UNDER THE CONDOMINIUM ACT.

THIS 23rd DAY OF January, 2007

J. Robb
APPROVING OFFICER
CITY OF SURREY

STATUTORY DECLARATION

I, THE UNDERSIGNED DO SOLEMNLY DECLARE THAT
1) I, THE UNDERSIGNED AM THE DULY AUTHORIZED
AGENT OF THE OWNER/DEVELOPER.
2) THE STRATA PLAN IS ENTIRELY FOR RESIDENTIAL USE.
I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY
BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF
THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

Allen Lai
Allen Lai

DECLARED BEFORE ME AT Vancouver
IN THE PROVINCE OF BRITISH COLUMBIA
THIS 7th DAY OF December, 2006.

Jane Glenn
A COMMISSIONER FOR TAKING AFFIDAVITS
WITHIN THE PROVINCE OF BRITISH COLUMBIA

I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR
CERTIFY THAT THE BUILDINGS INCLUDED IN THIS STRATA PLAN
HAVE NOT, AS OF NOVEMBER 28th, 2006 BEEN PREVIOUSLY OCCUPIED.

M. Schulze
B.C.L.S.

I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR
CERTIFY THAT THE BUILDINGS SHOWN ON THIS STRATA PLAN ARE
WITHIN THE EXTERNAL BOUNDARIES OF THE LAND THAT IS THE
SUBJECT OF THE STRATA PLAN.
DATE: NOVEMBER 28, 2006.

M. Schulze
B.C.L.S.

M. Schulze, B.C.L.S.
NOVEMBER 28, 2006

FILE: 2588-5

DWG.: 2144

CONDOMINIUM ACT

**PHASE 8
STRATA PLAN LMS 921**
.....

STRATA LOT No.	UNIT No. (ADDRESS)	SHEET No.	FORM 1	FORM 2	FORM 3
			SCHEDULE OF UNIT ENTITLEMENT	SCHEDULE OF INTEREST UPON DESTRUCTION	SCHEDULE OF VOTING RIGHTS
			UNIT ENTITLEMENT	INTEREST UPON DESTRUCTION	NUMBER OF VOTES
316	101	5 , 7	1,205	2,620	1
317	103	5 , 7	949	2,090	1
318	105	5 , 7	715	1,750	1
319	107	5 , 7	1,165	2,410	1
320	110	5 , 7	960	2,170	1
321	108	5 , 7	928	2,090	1
322	106	5 , 7	943	2,090	1
323	104	5 , 7	939	2,090	1
324	102	5 , 7	1,252	2,690	1
325	201	5 , 8	1,205	2,570	1
326	203	5 , 8	946	2,120	1
327	205	5 , 8	1,088	2,540	1
328	207	5 , 8	1,167	2,450	1
329	210	5 , 8	959	2,200	1
330	208	5 , 8	934	2,120	1
331	206	5 , 8	937	2,120	1
332	204	5 , 8	940	2,120	1
333	202	5 , 8	1,251	2,730	1

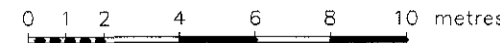
STRATA LOT No.	UNIT No. (ADDRESS)	SHEET No.	FORM 1	FORM 2	FORM 3
			SCHEDULE OF UNIT ENTITLEMENT	SCHEDULE OF INTEREST UPON DESTRUCTION	SCHEDULE OF VOTING RIGHTS
			UNIT ENTITLEMENT	INTEREST UPON DESTRUCTION	NUMBER OF VOTES
334	301	5 , 9	1,209	2,730	1
335	303	5 , 9	941	2,180	1
336	305	5 , 9	1,089	2,590	1
337	307	5 , 9	1,166	2,520	1
338	310	5 , 9	959	2,250	1
339	308	5 , 9	937	2,180	1
340	306	5 , 9	939	2,180	1
341	304	5 , 9	940	2,180	1
342	302	5 , 9	1,249	2,720	1
343	401	5 ,10	1,210	2,860	1
344	403	5 ,10	940	2,280	1
345	405	5 ,10	1,091	2,700	1
346	407	5 ,10	1,166	2,750	1
347	410	5 ,10	958	2,360	1
348	408	5 ,10	937	2,280	1
349	406	5 ,10	940	2,280	1
350	404	5 ,10	939	2,280	1
351	402	5 ,10	1,248	2,860	1
PHASE 8 AGGREGATE			37,341	85,150	36
PHASE 1 AGGREGATE			174,386	276,397	165
PHASE 2 AGGREGATE			16,619	28,040	15
PHASE 3 AGGREGATE			12,222	20,370	11
PHASE 4 AGGREGATE			15,950	27,120	11
PHASE 5 AGGREGATE			32,774	58,762	48
PHASE 6 AGGREGATE			36,397	67,629	52
PHASE 7 AGGREGATE			18,859	28,180	13
SUM OF AGGREGATES PHASES 1 TO 8			344,548	591,648	351

N.J.S.
....., B.C.L.S.
NOVEMBER 28, 2006

FILE: 2588-5
DWG.: 2144

BUILDING LOCATION AND DIMENSIONS

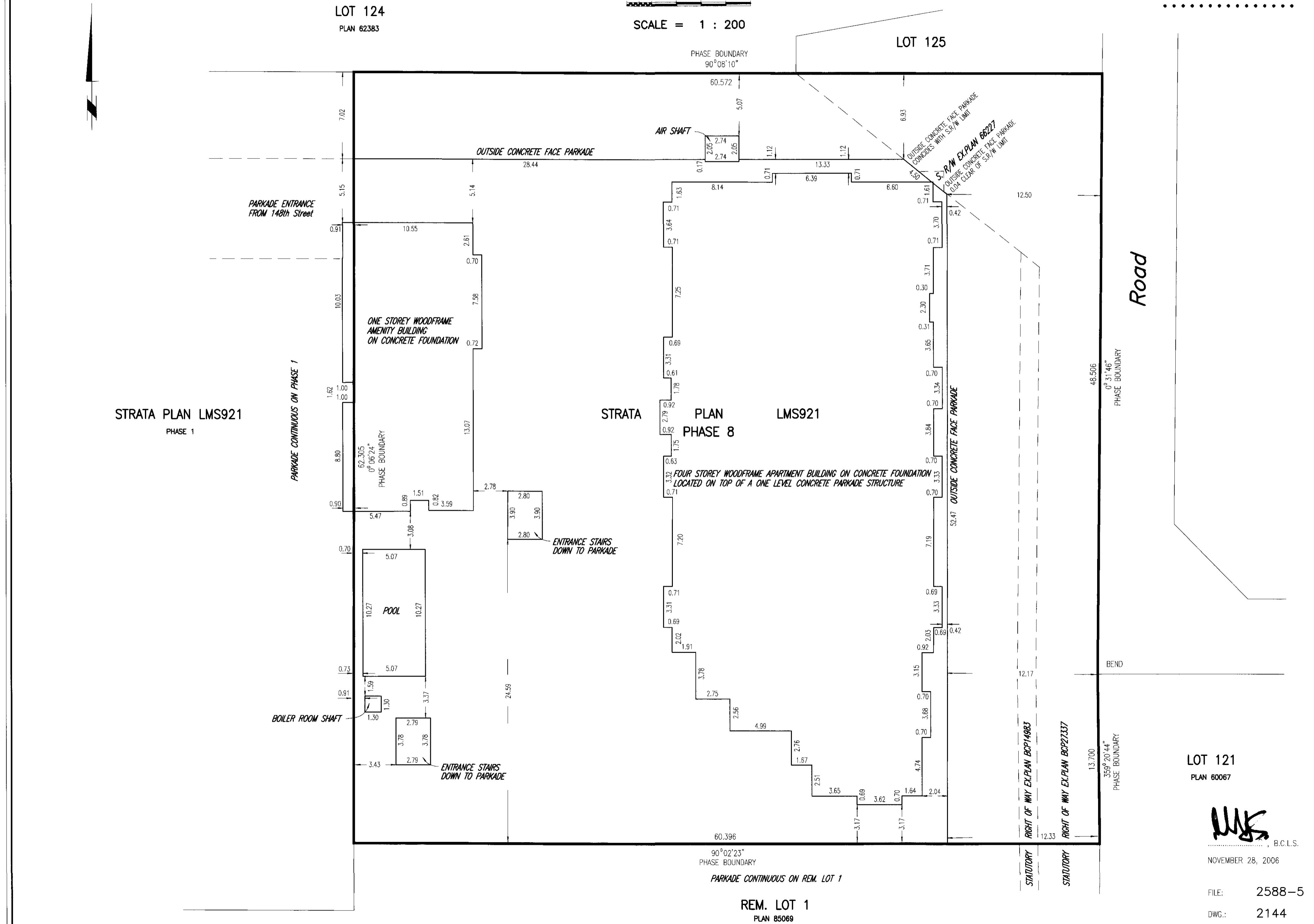
PHASE 8 STRATA PLAN LMS 921



SCALE = 1 : 200

LOT 124
PLAN 62383

LOT 125



STRATA PLAN LMS921
PHASE 1

STRATA PLAN LMS921
PHASE 8

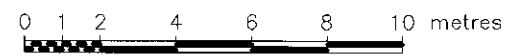
LOT 121
PLAN 60067

REM. LOT 1
PLAN 85069

[Handwritten Signature]
 B.C.L.S.
 NOVEMBER 28, 2006
 FILE: 2588-5
 DWG.: 2144

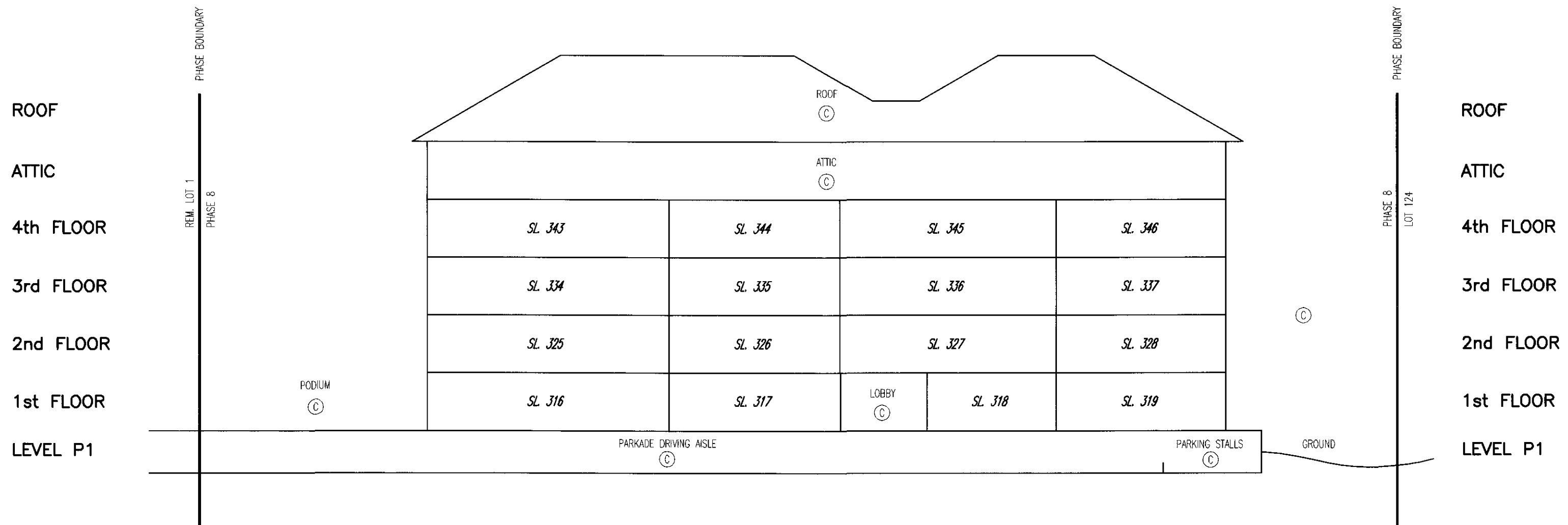
Original

SECTIONS

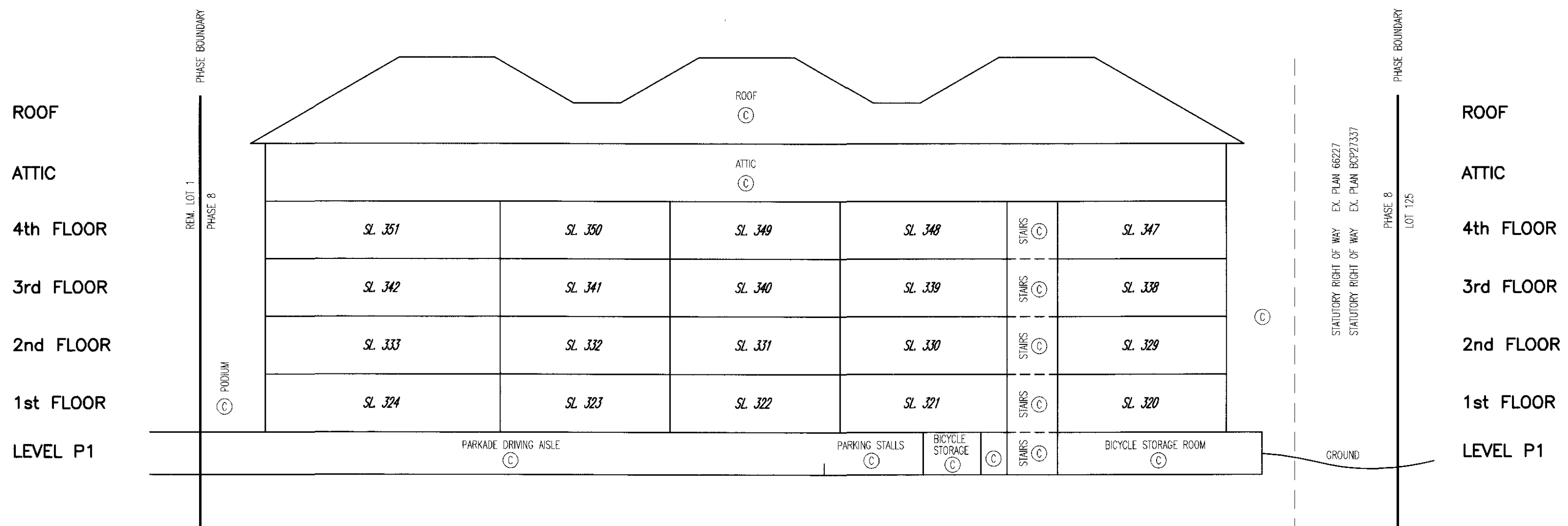


HORIZONTAL SCALE = 1 : 200
VERTICAL NOT TO SCALE

**PHASE 8
STRATA PLAN LMS 921**



SECTION 'B'-'B'



SECTION 'A'-'A'

NUS.
....., B.C.L.S.
NOVEMBER 28, 2006

FILE: 2588-5
DWG: 2144

ORIGINAL

PARKING LEVEL P1

PHASE 8 STRATA PLAN LMS 921

0 1 2 4 6 8 10 metres

SCALE = 1 : 200

LOT 124
PLAN 62383

LOT 125

AMENDED PURSUANT TO
SEC. 25B STRATA PROPERTY ACT.
THIS 29TH DAY MAY 2007
SEE BB 92139 AND
AMENDED SHEET 6A.

STRATA PLAN LMS921
PHASE 1

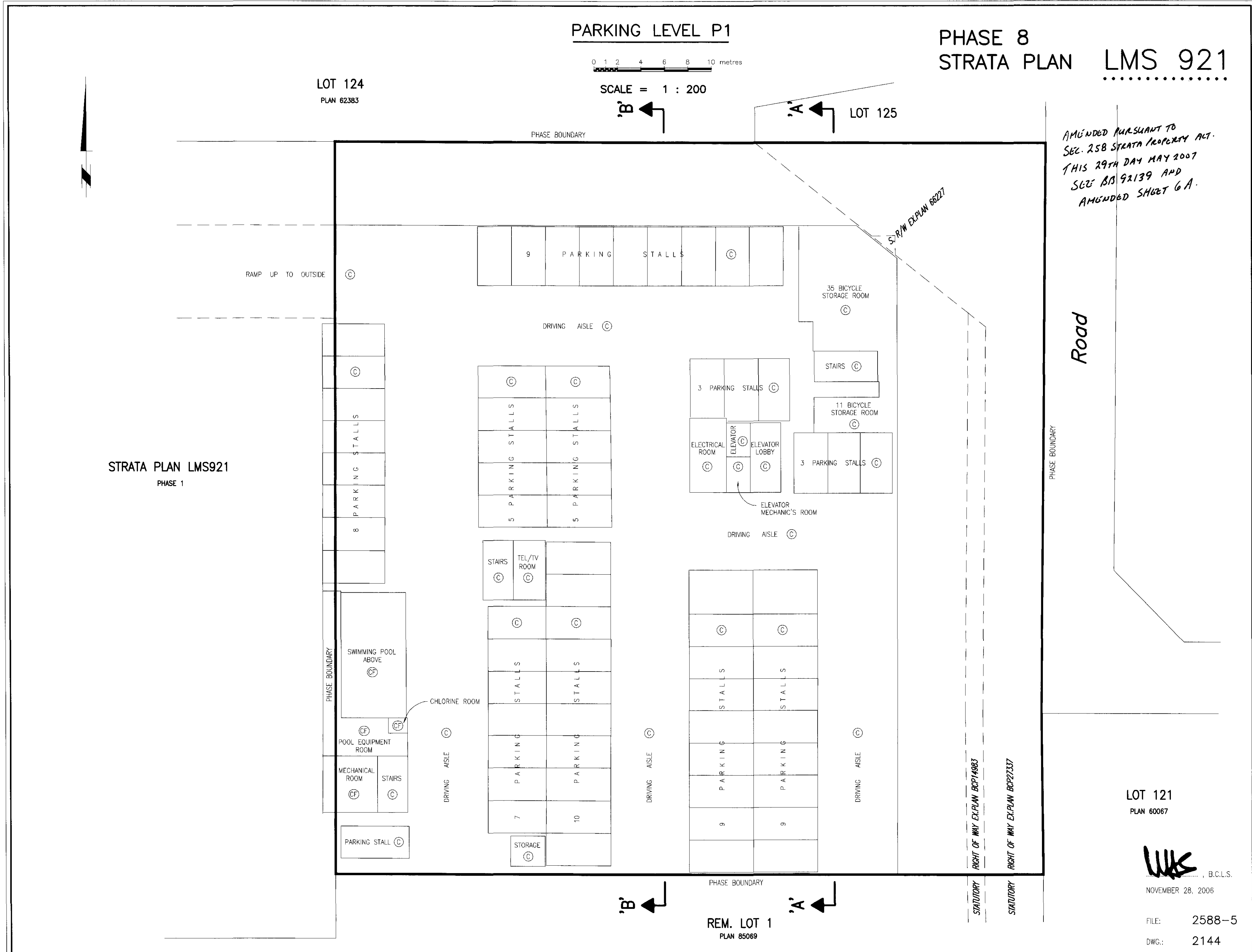
Road

LOT 121
PLAN 60067

REM. LOT 1
PLAN 85069

LUK, B.C.L.S.
NOVEMBER 28, 2006

FILE: 2588-5
DWG.: 2144



EXPLANATORY PLAN AMENDING STRATA PLAN LMS921, PHASE 8, TO DESIGNATE PARKING STALLS AS LIMITED COMMON PROPERTY FOR THE EXCLUSIVE USE OF STRATA LOTS 300, 316 TO 321, 323 TO 351, 367, 368, 372 TO 375, 379, 380.

PARKING LEVEL P1



SCALE = 1 : 200

PHASE 8 STRATA PLAN LMS 921

PURSUANT TO SECTION 258 (1) OF THE STRATA PROPERTY ACT.
B.C.G.S. 92G.016
THIS PLAN LIES WITHIN THE
GREATER VANCOUVER
REGIONAL DISTRICT.

← 'B' LOT 124
PLAN 62383

← 'A' LOT 125

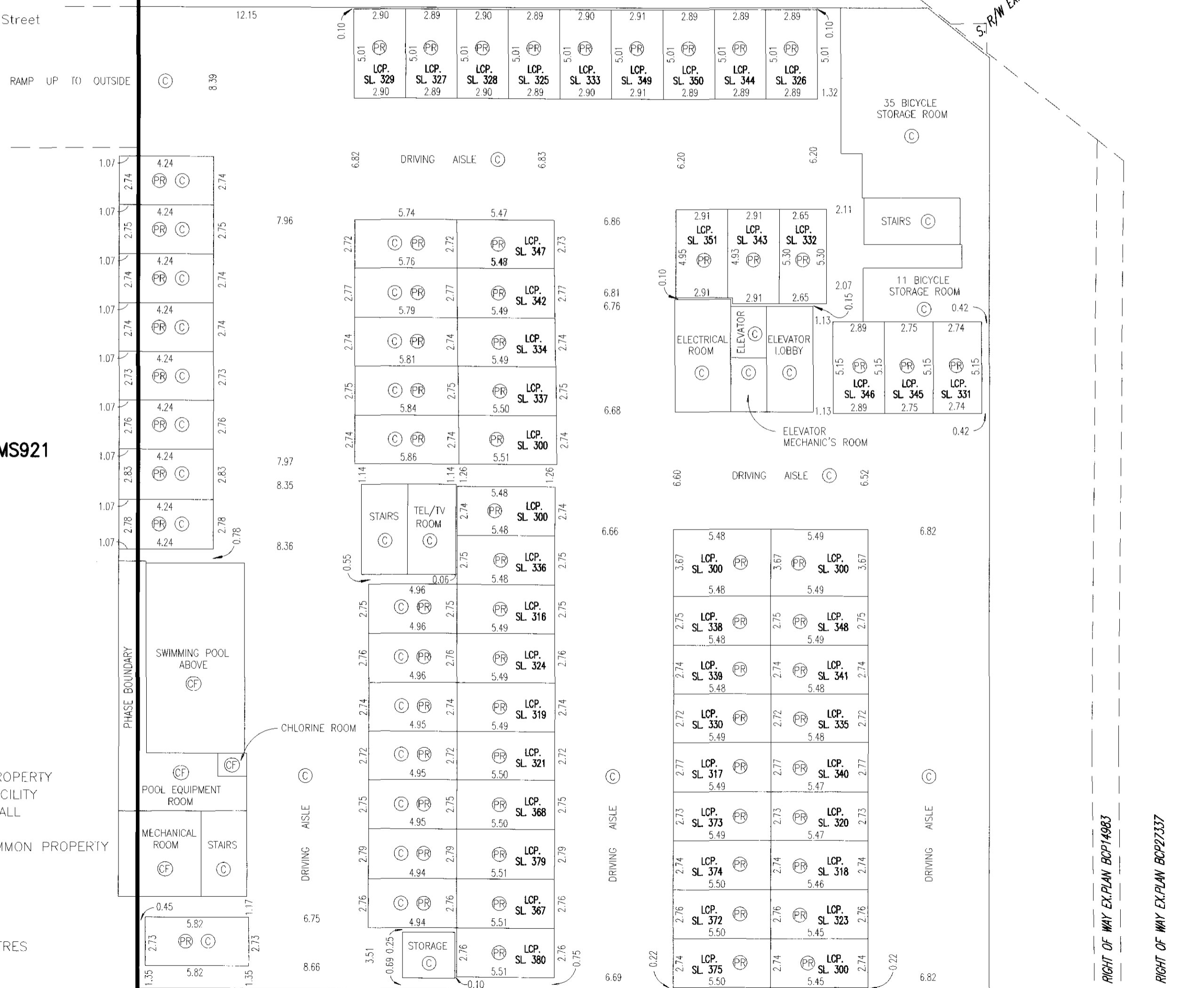
DEPOSITED AND REGISTERED IN THE LAND TITLE OFFICE
AT NEW WESTMINSTER, B.C.
THIS 29 DAY OF MAY, 2007

Jan MacDonald /cp.
DEPUTY REGISTRAR
BB92139

"GUILDFORD PARK PLACE"

CIVIC ADDRESS:

10090 & 10092 - 148th Street
SURREY, B.C.



STRATA PLAN LMS921
PHASE 1

STRATA PLAN LMS921
PHASE 9

Road

- LEGEND:**
- ⊙ INDICATES COMMON PROPERTY
 - ⊕ INDICATES COMMON FACILITY
 - Ⓟ INDICATES PARKING STALL
 - SL. INDICATES STRATA LOT
 - LCP. INDICATES LIMITED COMMON PROPERTY

NOTES:
ALL DISTANCES ARE IN METRES
AND DECIMALS THEREOF.

THIS PLAN WAS COMPLETED AND CHECKED, AND
THE CHECKLIST FILED UNDER # ECP-65040,
ON THE 27th DAY OF May, 2007,
AND IS HEREBY CERTIFIED CORRECT ACCORDING
TO LAND TITLE OFFICE RECORDS:
DATED THIS 27th DAY OF May, 2007.

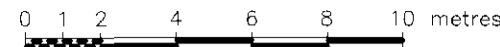
LOT 121
PLAN 60067

M. H. Schulze
Martin H. Schulze
B.C.L.S.

SCHULZE & ASSOCIATES
LEGAL AND ENGINEERING SURVEYS
P.O. Box 19146, 1153 - 56th Street
DELTA, B.C. V4L 2P8
TEL.: (604)522-1616 FAX: (604)943-5054
e-mail: schulze@telus.net

FILE: 2588-5 DWG: 2144A REV: 1

1st FLOOR



SCALE = 1 : 200

PHASE 8 STRATA PLAN LMS 921

LOT 124 PLAN 62383

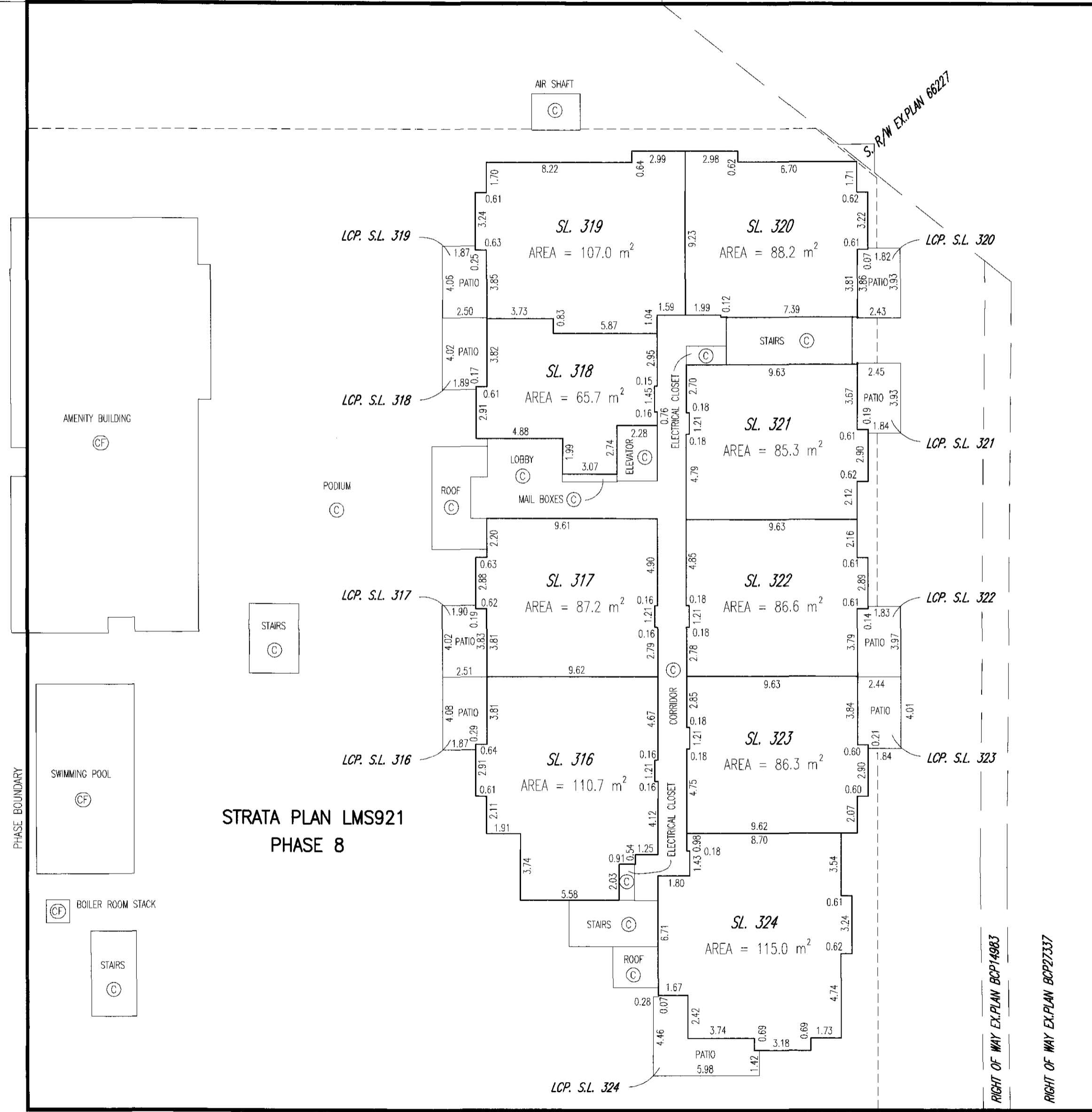
LOT 125

PHASE BOUNDARY

Road

PHASE BOUNDARY

STRATA PLAN LMS921 PHASE 1



STRATA PLAN LMS921 PHASE 8

LOT 121 PLAN 60067

MHE, B.C.L.S. NOVEMBER 28, 2006

FILE: 2588-5 DWG.: 2144

REM. LOT 1 PLAN 85069

2nd FLOOR

PHASE 8 STRATA PLAN LMS 921

0 1 2 4 6 8 10 metres

SCALE = 1 : 200

LOT 124
PLAN 62383

LOT 125

PHASE BOUNDARY

Road

PHASE BOUNDARY

STRATA PLAN LMS921
PHASE 1

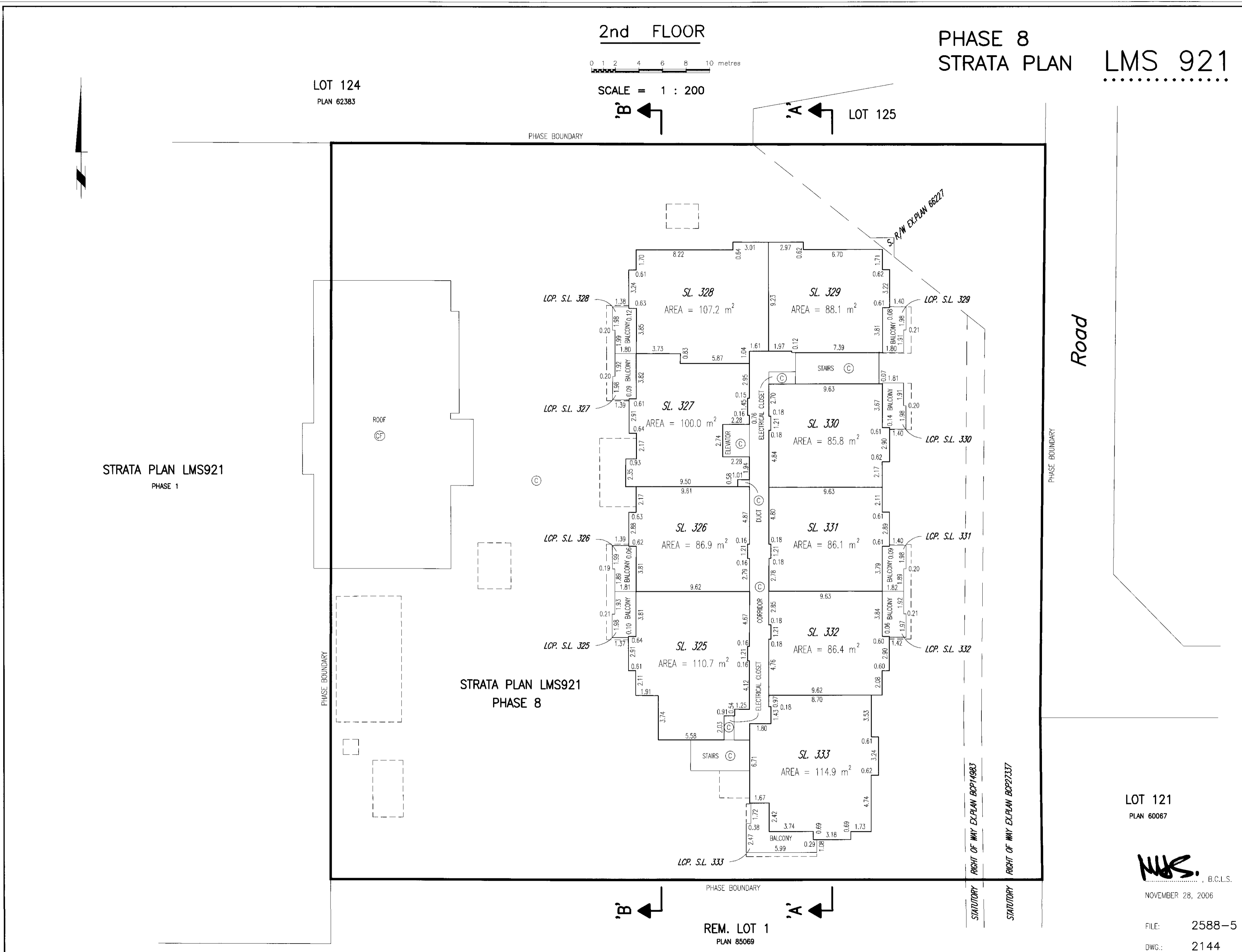
STRATA PLAN LMS921
PHASE 8

LOT 121
PLAN 60067

REM. LOT 1
PLAN 85069

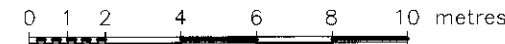
N.S.
....., B.C.L.S.
NOVEMBER 28, 2006

FILE: 2588-5
DWG: 2144



3rd FLOOR

PHASE 8 STRATA PLAN LMS 921



SCALE = 1 : 200

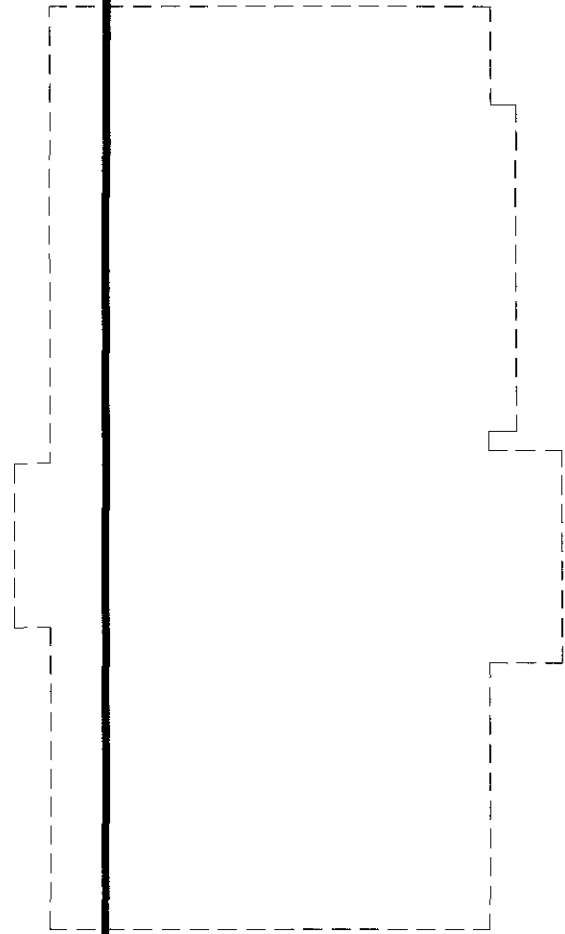
LOT 124
PLAN 62383

LOT 125

PHASE BOUNDARY

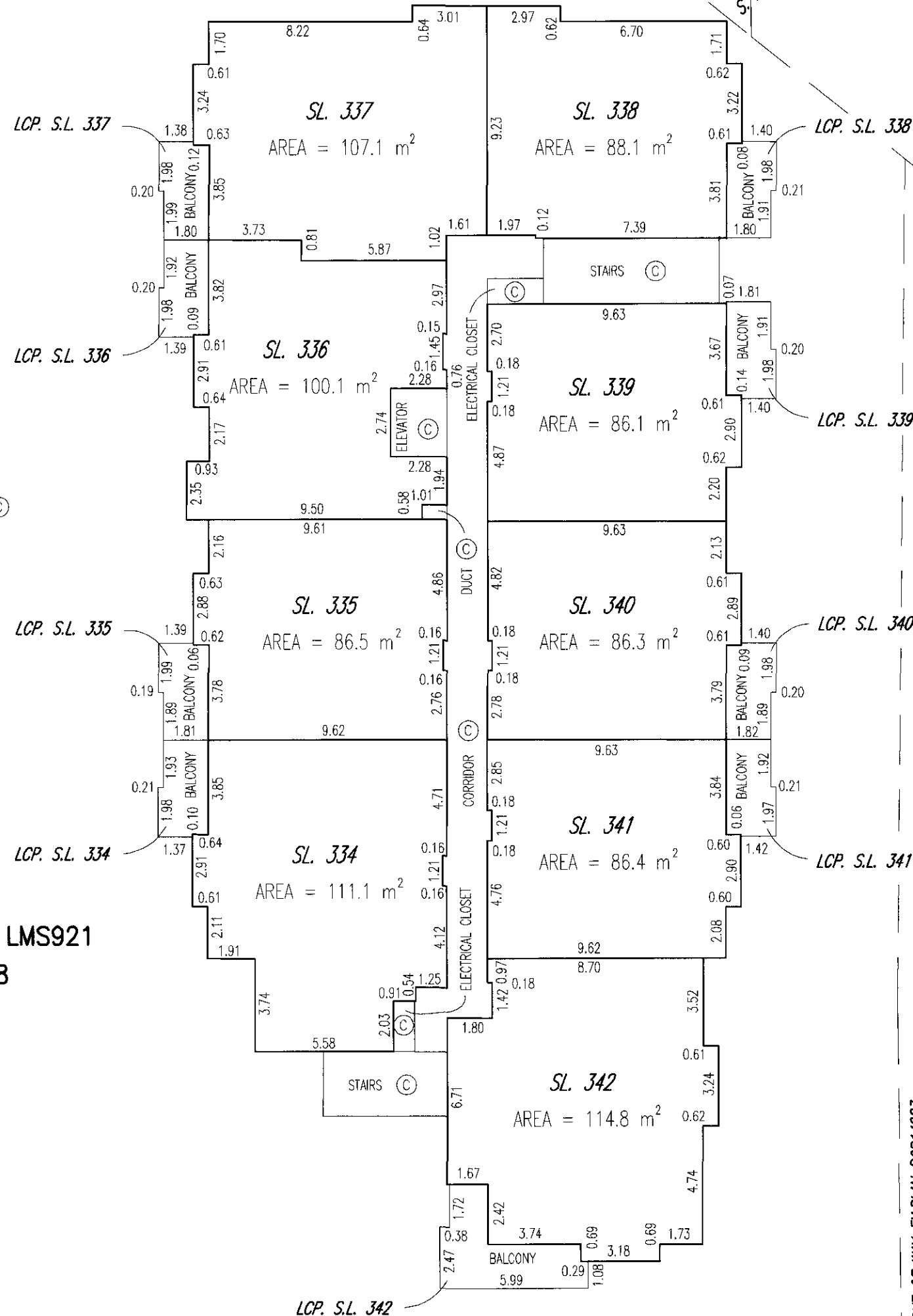


STRATA PLAN LMS921
PHASE 1



PHASE BOUNDARY

STRATA PLAN LMS921
PHASE 8



PHASE BOUNDARY

Road



REM. LOT 1
PLAN 85069

STATUTORY RIGHT OF WAY EX.PLAN BOP14983

STATUTORY RIGHT OF WAY EX.PLAN BOP27337

LOT 121
PLAN 60067

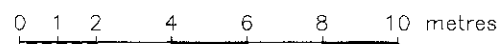
NBS

....., B.C.L.S.
NOVEMBER 28, 2006

FILE: 2588-5
DWG.: 2144

4th FLOOR

PHASE 8 STRATA PLAN LMS 921



SCALE = 1 : 200

LOT 124
PLAN 62383

LOT 125

PHASE BOUNDARY

Road

PHASE BOUNDARY

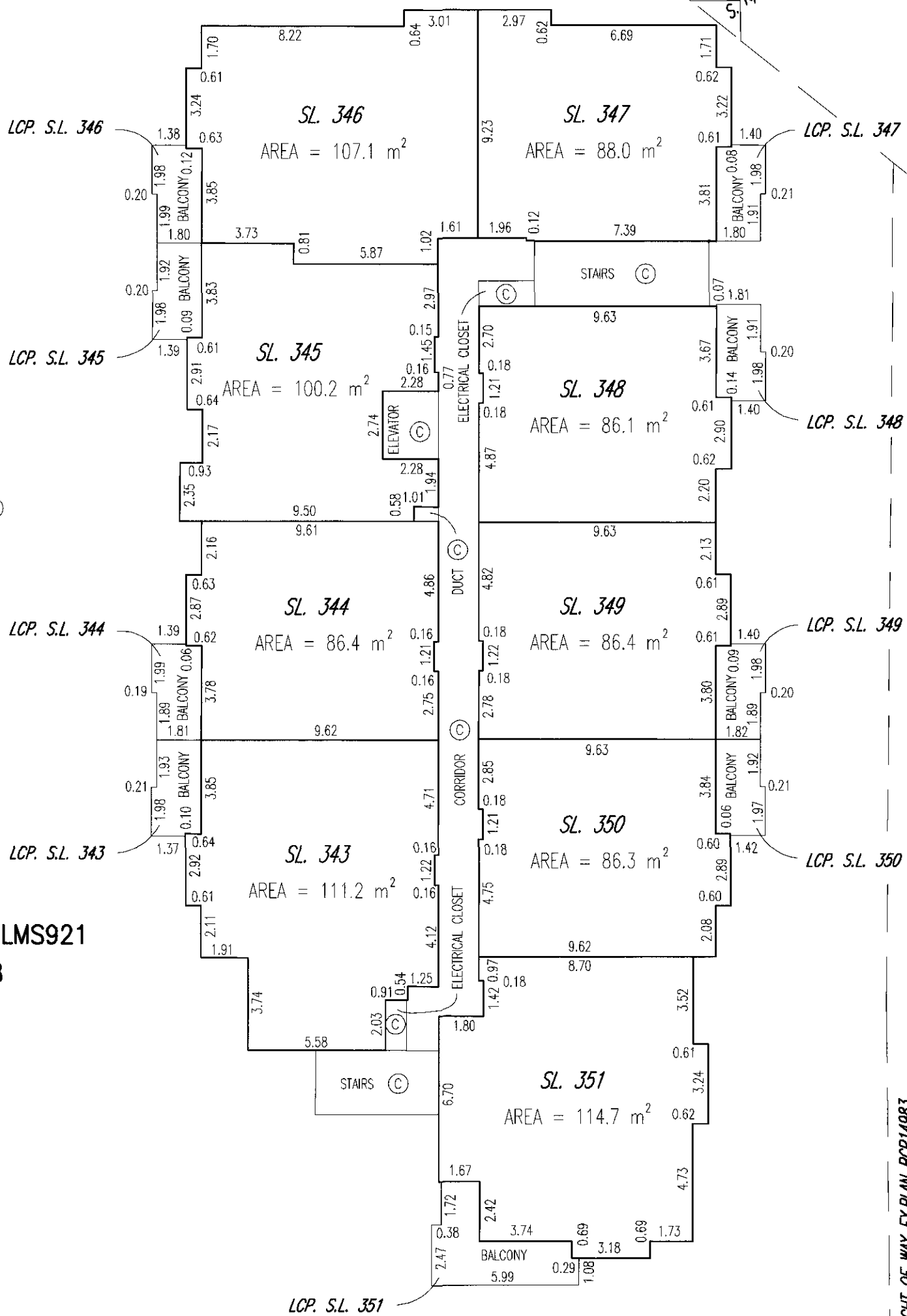
STRATA PLAN LMS921
PHASE 1

STRATA PLAN LMS921
PHASE 8

LOT 121
PLAN 60067

NBS.
....., B.C.L.S.
NOVEMBER 28, 2006

FILE: 2588-5
DWG: 2144



REM. LOT 1
PLAN 85069

STATUTORY RIGHT OF WAY EX-PLAN BOP14983

STATUTORY RIGHT OF WAY EX-PLAN BOP27337

ATTIC

0 1 2 4 6 8 10 metres

SCALE = 1 : 200

LOT 124
PLAN 62383

LOT 125

PHASE BOUNDARY



S/RW EX-PLAN 66227

STRATA PLAN LMS921
PHASE 1

⊙

ATTIC ⊙

STRATA PLAN LMS921
PHASE 8

STAIRS ⊙

WATER HEATER ROOM ⊙

EXHAUST FAN ROOM ⊙

ELEVATOR ⊙

CORRIDOR ⊙

CORRIDOR ⊙

PHASE BOUNDARY

PHASE BOUNDARY

STATUTORY RIGHT OF WAY EX-PLAN BCPI4983

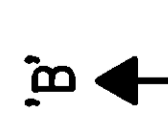
STATUTORY RIGHT OF WAY EX-PLAN BCPI27337

LOT 121
PLAN 60067

W.H.S., B.C.L.S.
NOVEMBER 28, 2006

FILE: 2588-5
DWG.: 2144

REM. LOT 1
PLAN 85069



PHASE BOUNDARY

ROOF

0 1 2 4 6 8 10 metres

SCALE = 1 : 200

LOT 124
PLAN 62383

LOT 125

PHASE BOUNDARY

STRATA PLAN LMS921
PHASE 1

STRATA PLAN LMS921
PHASE 8

Ⓢ

ROOF Ⓢ

S. R/W EX. PLAN 66227

PHASE BOUNDARY

PHASE BOUNDARY

LOT 121
PLAN 60067

NLB
....., B.C.L.S.

NOVEMBER 28, 2006

FILE: 2588-5

DWG.: 2144

PHASE BOUNDARY

REM. LOT 1
PLAN 85069

STATUTORY RIGHT OF WAY EX. PLAN BCP14983

STATUTORY RIGHT OF WAY EX. PLAN BCP27337

'B' ←

'A' ←

**STRATA PLAN OF PART OF LOT 1,
EXCEPT: PHASES 1 TO 8 STRATA PLAN LMS921,
SECTION 29, BLOCK 5 NORTH, RANGE 1 WEST,
NEW WESTMINSTER DISTRICT, PLAN 85069.**

"THE CITY OF SURREY"
B.C.G.S. 92G.016

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT

"GUILDFORD PARK PLACE"

CIVIC ADDRESS:

10088 - 148th Street
SURREY, B.C.

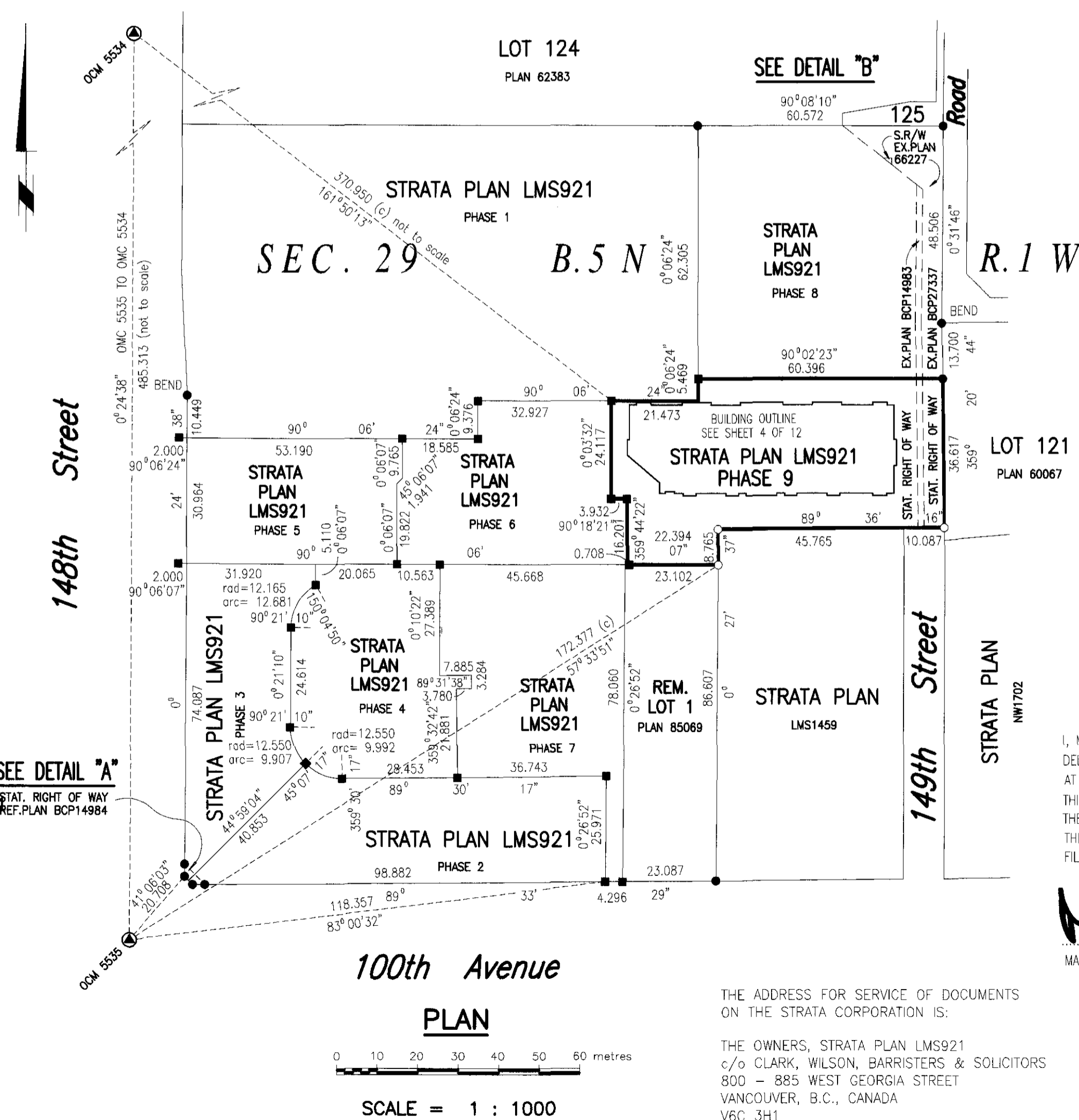
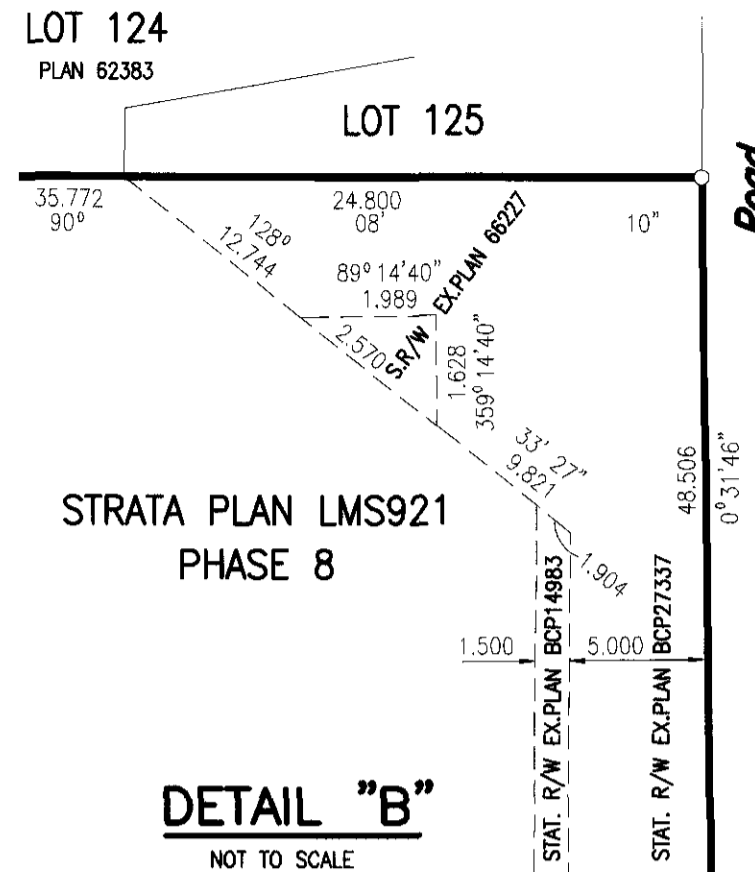
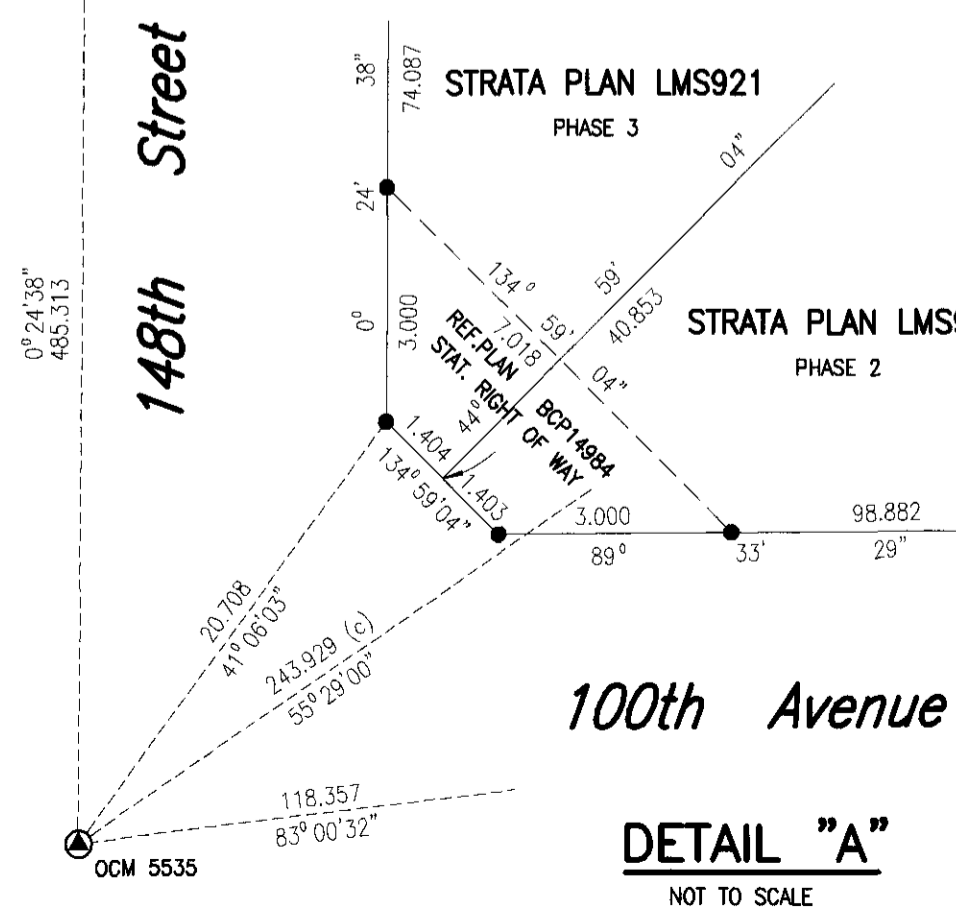
LEGEND:

- ▲ INDICATES CONTROL MONUMENT FOUND
- INDICATES STANDARD IRON POST FOUND
- INDICATES LEAD PLUG FOUND
- INDICATES STANDARD IRON POST PLACED
- INDICATES LEAD PLUG PLACED
- m² INDICATES SQUARE METRES
- c INDICATES CALCULATED
- S.L. INDICATES STRATA LOT
- L.C.P. INDICATES LIMITED COMMON PROPERTY
- PT. INDICATES PART
- INDICATES COMMON PROPERTY
- INDICATES COMMON FACILITY
- INDICATES GARAGE
- INDICATES WALKWAY
- INDICATES YARD
- INDICATES CONCRETE PAD
- INDICATES DRIVEWAY
- INDICATES STAIRS
- INDICATES DECK

NOTES:

- ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE INDICATED.
- GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN CONTROL MONUMENTS 5534 AND 5535, NAD 83 (CSRS).
- THIS PLAN SHOWS GROUND LEVEL MEASURED DISTANCES. PRIOR TO COMPUTATION OF U.T.M. COORDINATES, MULTIPLY BY COMBINED FACTOR 0.99958955.

INTEGRATED SURVEY AREA No. 1, CITY OF SURREY.



**PHASE 9
STRATA PLAN LMS 921**

DEPOSITED IN THE LAND TITLE OFFICE AT
NEW WESTMINSTER, BRITISH COLUMBIA.
THIS 1 DAY OF MAY, 2007

Ian MacDonald /c/
DEPUTY REGISTRAR
BB 392 838-896

FORM "P"
FILING No.:

I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR OF DELTA IN BRITISH COLUMBIA CERTIFY THAT I WAS PRESENT AT AND PERSONALLY SUPERINTENDED THE SURVEY REPRESENTED BY THIS PLAN AND THAT THE SURVEY AND PLAN ARE CORRECT. THE FIELD SURVEY WAS COMPLETED ON THE 24th DAY OF MARCH, 2007. THE PLAN WAS COMPLETED AND CHECKED, AND THE CHECKLIST FILED UNDER ECP # 62584, ON THE 1st DAY OF APRIL, 2007.

M. Schulze
MARTIN HANS SCHULZE, B.C.L.S.

THE ADDRESS FOR SERVICE OF DOCUMENTS ON THE STRATA CORPORATION IS:

THE OWNERS, STRATA PLAN LMS921
c/o CLARK, WILSON, BARRISTERS & SOLICITORS
800 - 885 WEST GEORGIA STREET
VANCOUVER, B.C., CANADA
V6C 3H1

SCHULZE & ASSOCIATES
LEGAL AND ENGINEERING SURVEYS
P.O. Box 19146, 1153 - 56th Street
DELTA, B.C. V4L 2P8
TEL: (604)522-1616 FAX: (604)943-5054
e-mail: schulze@telus.net
FILE: 2588-6 DWG: 2153 REV: 0

PHASE 9
STRATA PLAN LMS 921
.....

SIGNATURES

OWNER/DEVELOPER
GUILDFORD PARK ENTERPRISES LTD.
(INCORPORATION No. 348458)

Allen Lai
AUTHORIZED SIGNATORY
Allen Lai

JANE GLANVILLE
AUTHORIZED SIGNATORY
WITNESS AS TO ABOVE SIGNATURES
JANE GLANVILLE

800 885 West Georgia
Vancouver, BC V6C 3H1
ADDRESS OF WITNESS

Lawyer
OCCUPATION OF WITNESS

ACCEPTED AS TO FORMS 1 AND 2

THIS 10th DAY OF April, 2007

for [Signature]
SUPERINTENDENT OF REAL ESTATE

APPROVED AS TO PHASE 9 OF A 10 PHASE STRATA PLAN
UNDER THE CONDOMINIUM ACT.

THIS 25th DAY OF April, 2007.

[Signature]
APPROVING OFFICER
CITY OF SURREY

STATUTORY DECLARATION

I, THE UNDERSIGNED DO SOLEMNLY DECLARE THAT
1) I, THE UNDERSIGNED AM THE DULY AUTHORIZED
AGENT OF THE OWNER/DEVELOPER.
2) THE STRATA PLAN IS ENTIRELY FOR RESIDENTIAL USE.
I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY
BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF
THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

Allen Lai
Allen Lai

DECLARED BEFORE ME AT
IN THE PROVINCE OF BRITISH COLUMBIA
THIS 5th DAY OF April, 2007.

JANE GLANVILLE
A COMMISSIONER FOR TAKING AFFIDAVITS
WITHIN THE PROVINCE OF BRITISH COLUMBIA
JANE GLANVILLE

I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR
CERTIFY THAT THE BUILDINGS INCLUDED IN THIS STRATA PLAN
HAVE NOT, AS OF APRIL 1st, 2007 BEEN PREVIOUSLY OCCUPIED.

M. H. Schulze
B.C.L.S.

I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR
CERTIFY THAT THE BUILDINGS SHOWN ON THIS STRATA PLAN ARE
WITHIN THE EXTERNAL BOUNDARIES OF THE LAND THAT IS THE
SUBJECT OF THE STRATA PLAN.
DATE: APRIL 1st, 2007.

M. H. Schulze
B.C.L.S.

M.H.S.
B.C.L.S.
APRIL 1st, 2007

FILE: 2588-6

DWG.: 2153

CONDOMINIUM ACT

**PHASE 9
STRATA PLAN LMS 921
.....**

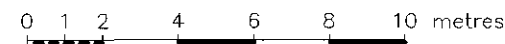
STRATA LOT No.	UNIT No. (ADDRESS)	SHEET No.	FORM 1	FORM 2	FORM 3
			SCHEDULE OF UNIT ENTITLEMENT	SCHEDULE OF INTEREST UPON DESTRUCTION	SCHEDULE OF VOTING RIGHTS
			UNIT ENTITLEMENT	INTEREST UPON DESTRUCTION	NUMBER OF VOTES
352	101	5, 7	1,588	2,687	1
353	103	5, 7	800	1,614	1
354	105	5, 7	798	1,630	1
355	107	5, 7	827	1,688	1
356	109	5, 7	832	1,747	1
357	111	5, 7	803	1,630	1
358	113	5, 7	799	1,614	1
359	115	5, 7	1,179	2,410	1
360	112	5, 7	976	2,034	1
361	110	5, 7	986	2,016	1
362	108	5, 7	969	1,991	1
363	106	5, 7	754	1,593	1
364	104	5, 7	970	2,001	1
365	102	5, 7	982	2,036	1
366	201	5, 8	1,184	2,458	1
367	203	5, 8	800	1,460	1
368	205	5, 8	799	1,638	1
369	207	5, 8	975	2,001	1
370	209	5, 8	977	2,001	1
371	211	5, 8	803	1,638	1
372	213	5, 8	803	1,622	1
373	215	5, 8	1,183	2,458	1
374	214	5, 8	974	2,044	1
375	212	5, 8	969	2,011	1
376	210	5, 8	969	2,001	1
377	208	5, 8	754	1,562	1
378	206	5, 8	969	2,011	1
379	204	5, 8	972	2,013	1
380	202	5, 8	950	2,025	1
381	301	5, 9	1,184	2,424	1
382	303	5, 9	800	1,630	1
383	305	5, 9	799	1,486	1
384	307	5, 9	975	1,981	1
385	309	5, 9	976	1,981	1
386	311	5, 9	803	1,646	1
387	313	5, 9	801	1,630	1
388	315	5, 9	1,182	2,470	1
389	314	5, 9	975	2,053	1
390	312	5, 9	969	2,021	1
391	310	5, 9	970	2,011	1
392	308	5, 9	754	1,570	1
393	306	5, 9	971	2,021	1
394	304	5, 9	965	2,023	1
395	302	5, 9	975	2,081	1

STRATA LOT No.	UNIT No. (ADDRESS)	SHEET No.	FORM 1	FORM 2	FORM 3
			SCHEDULE OF UNIT ENTITLEMENT	SCHEDULE OF INTEREST UPON DESTRUCTION	SCHEDULE OF VOTING RIGHTS
			UNIT ENTITLEMENT	INTEREST UPON DESTRUCTION	NUMBER OF VOTES
396	401	5, 10	1,184	2,565	1
397	403	5, 10	800	1,694	1
398	405	5, 10	799	1,710	1
399	407	5, 10	978	2,059	1
400	409	5, 10	978	2,059	1
401	411	5, 10	801	1,710	1
402	413	5, 10	801	1,694	1
403	415	5, 10	1,185	2,529	1
404	414	5, 10	978	2,170	1
405	412	5, 10	968	2,099	1
406	410	5, 10	970	2,089	1
407	408	5, 10	755	1,626	1
408	406	5, 10	971	2,099	1
409	404	5, 10	971	2,072	1
410	402	5, 10	975	2,160	1
PHASE 9 AGGREGATE			55,557	114,997	59
PHASE 1 AGGREGATE			174,386	276,397	165
PHASE 2 AGGREGATE			16,619	28,040	15
PHASE 3 AGGREGATE			12,222	20,370	11
PHASE 4 AGGREGATE			15,950	27,120	11
PHASE 5 AGGREGATE			32,774	58,762	48
PHASE 6 AGGREGATE			36,397	67,629	52
PHASE 7 AGGREGATE			18,859	28,180	13
PHASE 8 AGGREGATE			37,341	85,150	36
SUM OF AGGREGATES PHASES 1 TO 9			400,105	706,645	410

NKS.
....., B.C.L.S.
APRIL 1st, 2007
FILE: 2588-6
DWG.: 2153

BUILDING LOCATION AND DIMENSIONS

PHASE 9 STRATA PLAN LMS 921



SCALE = 1 : 200



STRATA PLAN LMS921
PHASE 1

PARKADE CONTINUOUS ON PHASE 1

STRATA PLAN LMS921
PHASE 8

PARKADE CONTINUOUS ON PHASE 8

PHASE BOUNDARY

60.396
90°02'23"

0.36 (BLDG. CLEAR)

90°06'24"
21.473

0.34 (BLDG. CLEAR)

5.469
0°06'24"

5.80

5.77

12.38

11.54

LOT 121
PLAN 60067

FOUR STOREY WOODFRAME APARTMENT BUILDING ON CONCRETE FOUNDATION
LOCATED ON TOP OF A ONE LEVEL CONCRETE PARKADE STRUCTURE

PARKADE CONTINUOUS ON PHASE 6

PHASE BOUNDARY

24.117
0°03'32"

3.80

10.32

6.30

90°18'21"
3.932

8.10

6.50

359°44'22"

16.201

6.50

6.56

90°06'07"
22.394

PHASE BOUNDARY

REM. LOT 1
PLAN 85069

STRATA PLAN
LMS921

PHASE 6

STRATA PLAN
LMS921

PHASE 7

OUTSIDE FACE OF PARKADE CONCRETE WALL

51.51

PROPERTY BOUNDARY

89°36'16"
45.765

STRATA PLAN
LMS1459

OUTSIDE FACE OF PARKADE CONCRETE WALL

29.93

6.42

8.50

0.55

STATUTORY RIGHT OF WAY EX-PLAN BCP14983

STATUTORY RIGHT OF WAY EX-PLAN BCP27337

359°20'44"

36.617

PROPERTY BOUNDARY

149th Street

10.087
89°36'16"

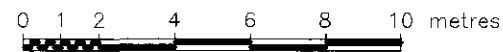
STRATA PLAN
NW1702

MKS.
....., B.C.L.S.
APRIL 1st, 2007

FILE: 2588-6
DWG.: 2153

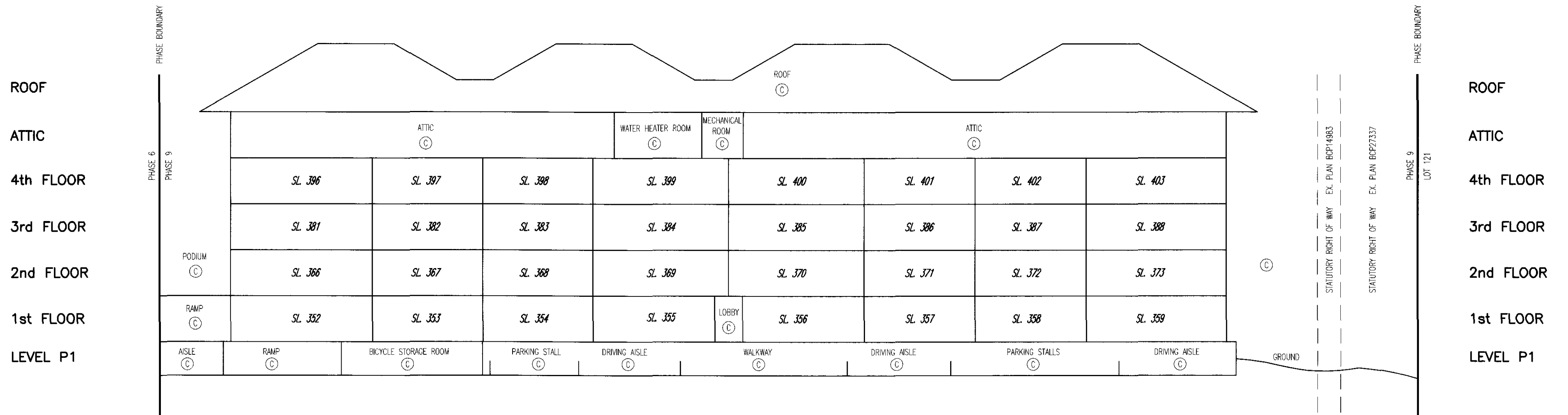
ORIGINAL

SECTIONS

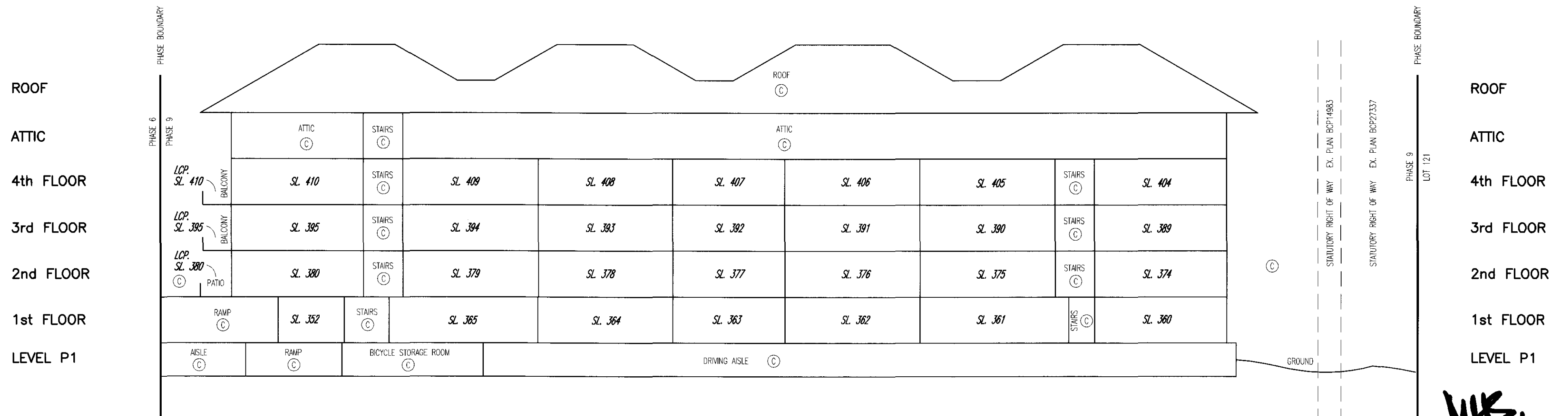


HORIZONTAL SCALE = 1 : 200
VERTICAL NOT TO SCALE

**PHASE 9
STRATA PLAN LMS 921**



SECTION 'B'-'B'



SECTION 'A'-'A'

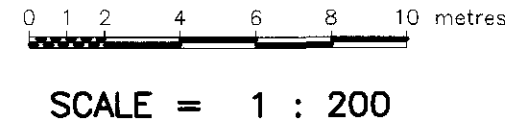
W.S.
....., B.C.L.S.
APRIL 1st, 2007

FILE: 2588-6

DWG.: 2153

ORIGINAL

PARKING LEVEL P1



PHASE 9 STRATA PLAN LMS 921

AMENDED PURSUANT TO SEC 258 STRATA PROPERTY ACT THIS 29TH DAY MAY 2007 SEE B/S 92140 AND AMENDED SHEET 6 A

STRATA PLAN LMS921 PHASE 1

STRATA PLAN LMS921 PHASE 8

LOT 121 PLAN 60067

'B' 'A'

'B' 'A'

STRATA PLAN LMS921 PHASE 6

STRATA PLAN LMS921 PHASE 9

STRATA PLAN LMS921 PHASE 7

REM. LOT 1 PLAN 85069

STRATA PLAN LMS1459

STRATA PLAN NW1702

LEGEND:

- (C) INDICATES COMMON PROPERTY
(P) INDICATES PARKING STALL
SL. INDICATES STRATA LOT
LCP. INDICATES LIMITED COMMON PROPERTY

N.B. APRIL 30, 2007

FILE: 2588-6 DWG.: 2153 REV.: 1

Original

EXPLANATORY PLAN AMENDING STRATA PLAN LMS921, PHASE 9, TO DESIGNATE PARKING STALLS AS LIMITED COMMON PROPERTY FOR THE EXCLUSIVE USE OF STRATA LOT 300.

PURSUANT TO SECTION 258 (1) OF THE STRATA PROPERTY ACT, B.C.G.S. 92G.016
THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT.

"GUILDFORD PARK PLACE"

CIVIC ADDRESS:
10088 - 148th Street
SURREY, B.C.

PARKING LEVEL P1



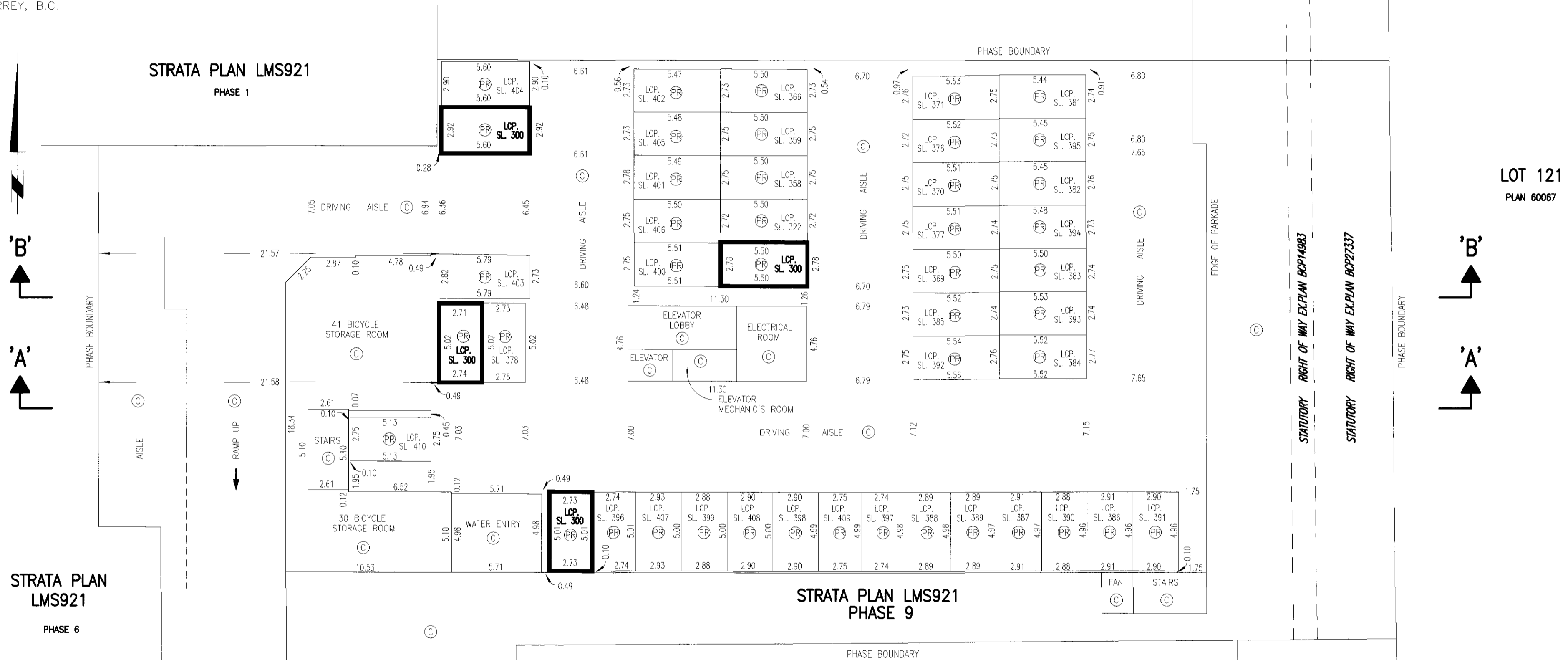
SCALE = 1 : 200

PHASE 9 STRATA PLAN LMS 921

DEPOSITED AND REGISTERED IN THE LAND TITLE OFFICE AT NEW WESTMINSTER, B.C.
THIS 29 DAY OF MAY, 2007.

STRATA PLAN LMS921
PHASE 8

DEPUTY REGISTRAR *Jan McDonald /EP*
BB92140



LOT 121
PLAN 60067

- LEGEND:**
- ⊙ INDICATES COMMON PROPERTY
 - Ⓟ INDICATES PARKING STALL
 - SL. INDICATES STRATA LOT
 - LCP. INDICATES LIMITED COMMON PROPERTY
- NOTES:**
- ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF.

STRATA PLAN
LMS1459

THIS PLAN WAS COMPLETED AND CHECKED, AND THE CHECKLIST FILED UNDER # ECP-65482, ON THE 4th DAY OF June, 2007, AND IS HEREBY CERTIFIED CORRECT ACCORDING TO LAND TITLE OFFICE RECORDS DATED THIS 4th DAY OF June, 2007.

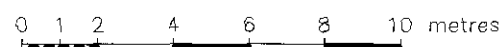
M. Schulze
Martin H. Schulze, B.C.L.S.

SCHULZE & ASSOCIATES
LEGAL AND ENGINEERING SURVEYS
P.O. Box 19146, 1153 - 56th Street
DELTA, B.C. V4L 2P8
TEL.: (604)522-1616 FAX: (604)943-5054
e-mail: schulze@telus.net

FILE: 2588-6 DWG: 2153A REV: 1

149th Street

1st Floor



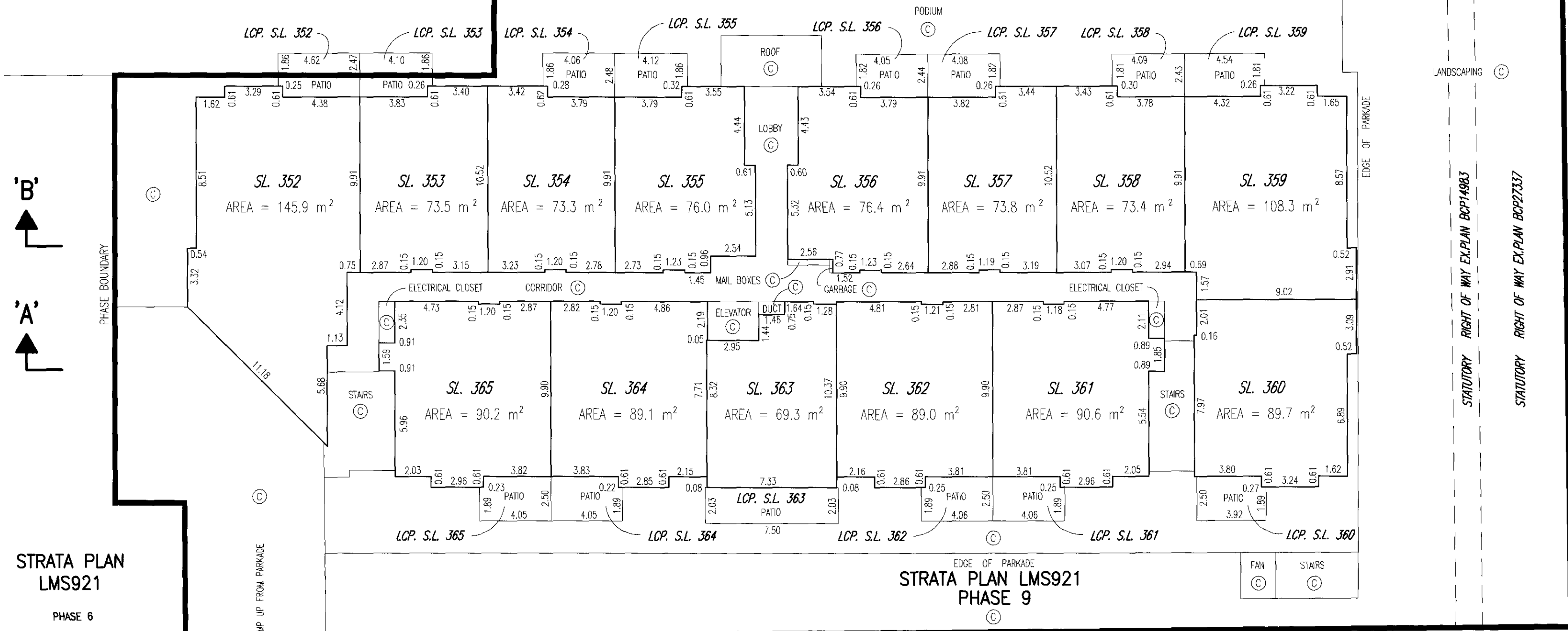
SCALE = 1 : 200

PHASE 9 STRATA PLAN LMS 921

STRATA PLAN LMS921 PHASE 1

STRATA PLAN LMS921 PHASE 8

PHASE BOUNDARY



LOT 121 PLAN 60067

STRATA PLAN LMS921 PHASE 6

STRATA PLAN LMS921 PHASE 9

STRATA PLAN LMS921 PHASE 7

REM. LOT 1 PLAN 85069

STRATA PLAN LMS1459

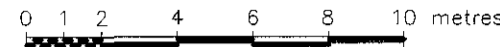
STRATA PLAN NW1702

W.B. B.C.L.S. APRIL 1st, 2007

FILE: 2588-6 DWG: 2153

ORIGINAL

2nd Floor



SCALE = 1 : 200

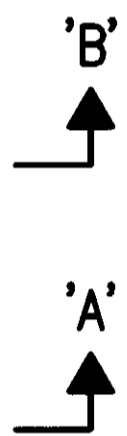
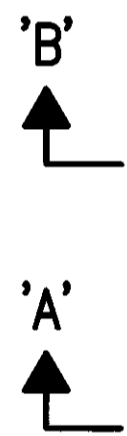
PHASE 9 STRATA PLAN LMS 921

STRATA PLAN LMS921 PHASE 1

STRATA PLAN LMS921 PHASE 8

PHASE BOUNDARY

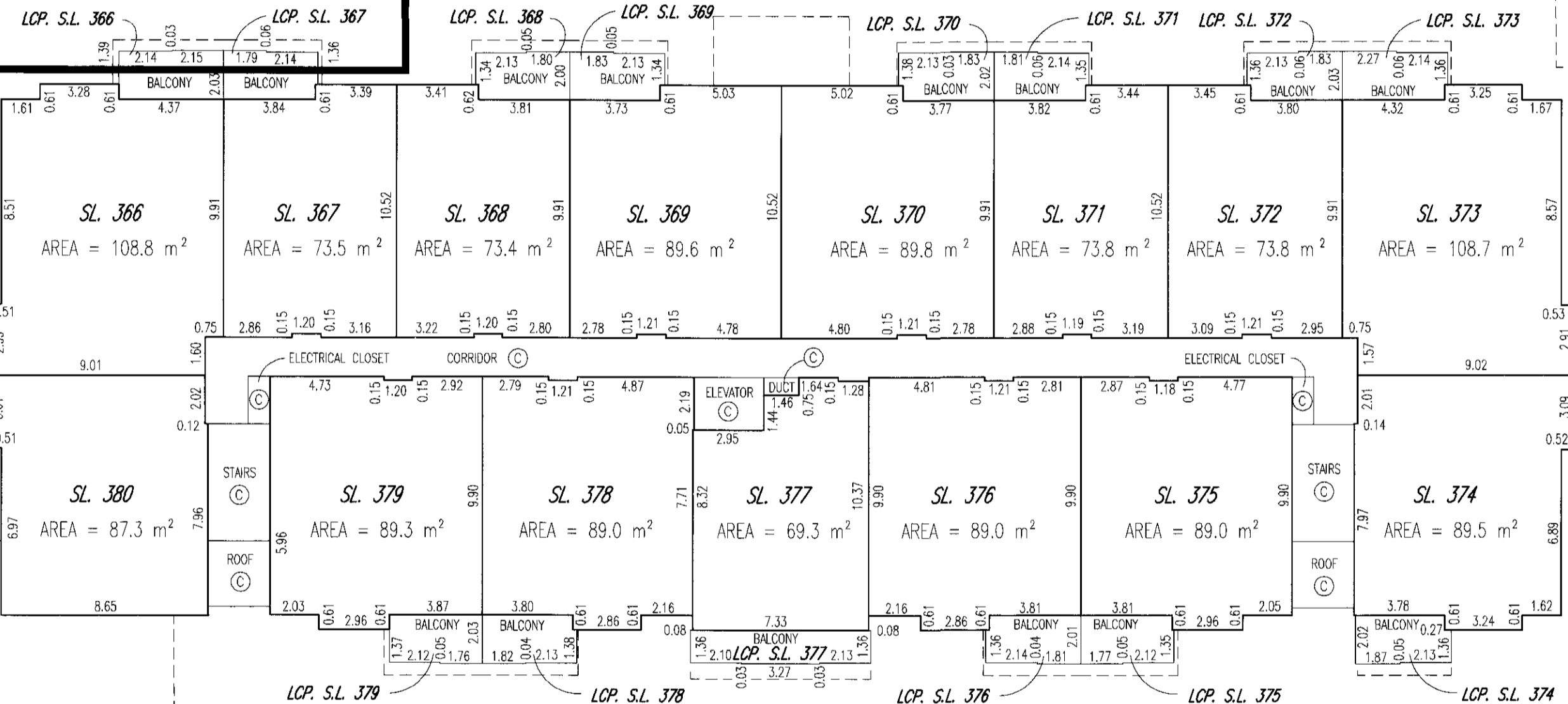
LOT 121 PLAN 60067



PHASE BOUNDARY

PHASE BOUNDARY

STATUTORY RIGHT OF WAY EXPLAN BCP14983
STATUTORY RIGHT OF WAY EXPLAN BCP27337



STRATA PLAN LMS921 PHASE 6

STRATA PLAN LMS1459

STRATA PLAN LMS921 PHASE 7

REM. LOT 1 PLAN 85069

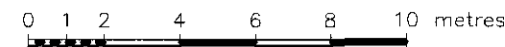
STRATA PLAN NW1702

NBS. , B.C.L.S.
APRIL 1st, 2007

FILE: 2588-6
DWG.: 2153

149th Street

3rd Floor



SCALE = 1 : 200

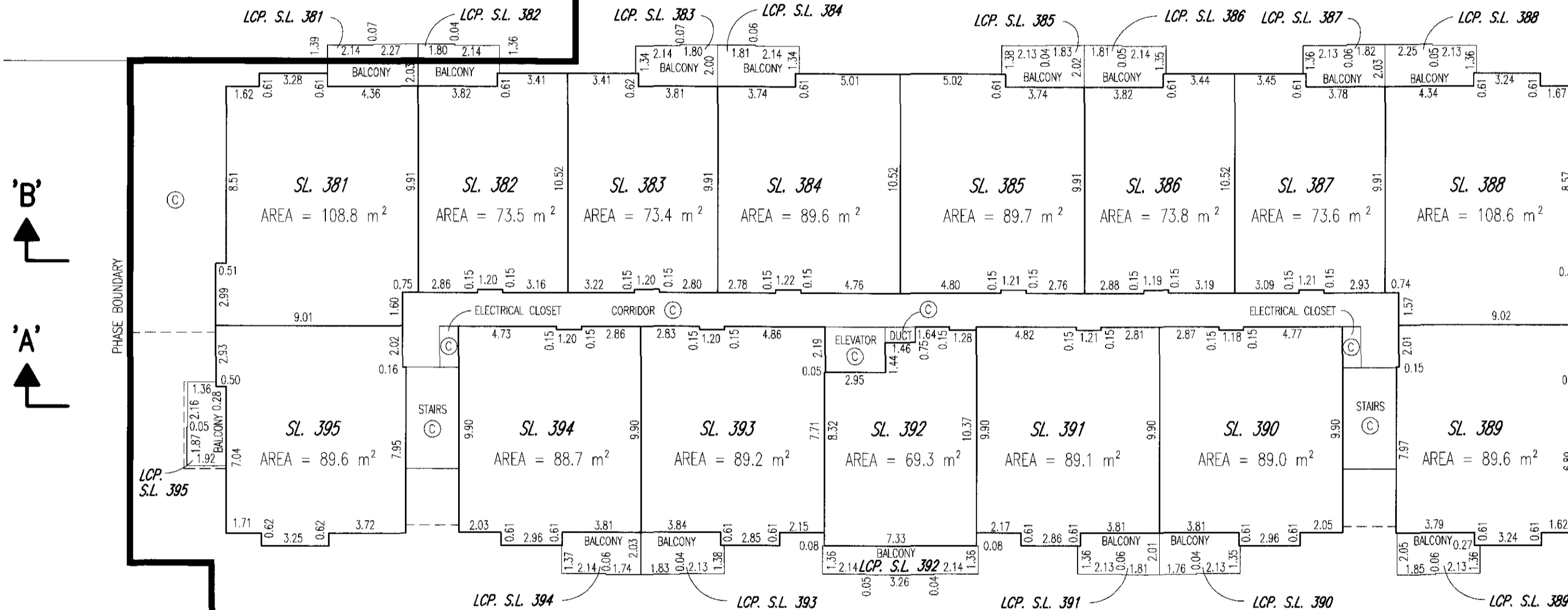
PHASE 9 STRATA PLAN LMS 921

STRATA PLAN LMS921 PHASE 1

STRATA PLAN LMS921 PHASE 8

PHASE BOUNDARY

LOT 121 PLAN 60067



STRATA PLAN LMS921 PHASE 6

STRATA PLAN LMS921 PHASE 9

STRATA PLAN LMS1459

STRATA PLAN NW1702

STRATA PLAN LMS921 PHASE 7

REM. LOT 1 PLAN 85069

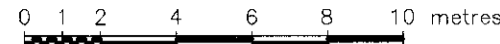
149th Street

MKS. B.C.L.S. APRIL 1st, 2007

FILE: 2588-6 DWG.: 2153

ORIGINAL

4th Floor



SCALE = 1 : 200

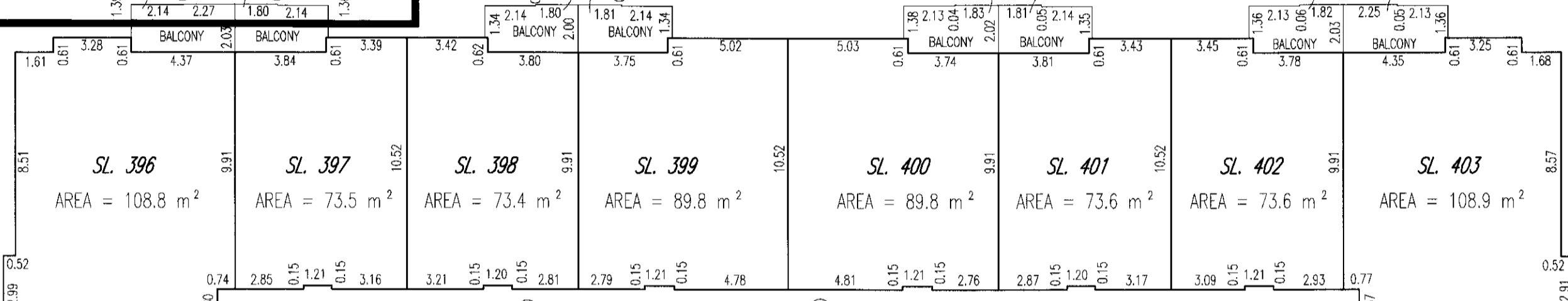
PHASE 9 STRATA PLAN LMS 921

STRATA PLAN LMS921 PHASE 1

STRATA PLAN LMS921 PHASE 8

PHASE BOUNDARY

LCP. S.L. 396 LCP. S.L. 397 LCP. S.L. 398 LCP. S.L. 399 LCP. S.L. 400 LCP. S.L. 401 LCP. S.L. 402 LCP. S.L. 403



LOT 121 PLAN 60067

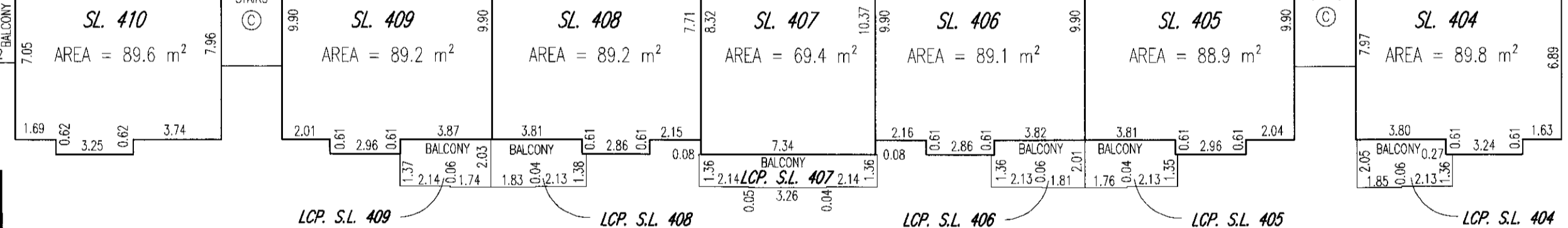


PHASE BOUNDARY

PHASE BOUNDARY

STATUTORY RIGHT OF WAY EX-PLAN BCPI4983
STATUTORY RIGHT OF WAY EX-PLAN BCPI27337

LCP. S.L. 410



LCP. S.L. 409 LCP. S.L. 408 LCP. S.L. 406 LCP. S.L. 405 LCP. S.L. 404

STRATA PLAN LMS921 PHASE 6

STRATA PLAN LMS921 PHASE 9

STRATA PLAN LMS921 PHASE 7

REM. LOT 1 PLAN 85069

STRATA PLAN LMS1459

STRATA PLAN NW1702

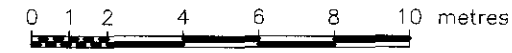
149th Street

W.S. , B.C.L.S. APRIL 1st, 2007

FILE: 2588-6
DWG.: 2153

ORIGINAL

ATTIC



SCALE = 1 : 200

PHASE 9
STRATA PLAN

LMS 921
.....

STRATA PLAN LMS921
PHASE 1

STRATA PLAN LMS921
PHASE 8

PHASE BOUNDARY

LOT 121
PLAN 60067

'B'
↑
'A'
↑

'B'
↑
'A'
↑

PHASE BOUNDARY

PHASE BOUNDARY

STATUTORY RIGHT OF WAY EX.PLAN BCP14983

STATUTORY RIGHT OF WAY EX.PLAN BCP22337

ROOF
⊙

ROOF
⊙

ROOF
⊙

ROOF
⊙

WATER HEATER ROOM
⊙

VESTIBULE
⊙

CORRIDOR
⊙

ELEVATOR
⊙

MECHANICAL ROOM
⊙

ATTIC
⊙

STAIRS
⊙

ROOF
⊙

ROOF
⊙

ROOF
⊙

ROOF
⊙

STRATA PLAN LMS921
PHASE 6

STRATA PLAN LMS921
PHASE 9

PHASE BOUNDARY

STRATA PLAN LMS1459

STRATA PLAN NW1702

STRATA PLAN LMS921
PHASE 7

REM. LOT 1
PLAN 85069

149th Street

M.S.
....., B.C.L.S.
APRIL 1st, 2007

FILE: 2588-6
DWG.: 2153

ORIGINAL

ROOF

0 1 2 4 6 8 10 metres

SCALE = 1 : 200

PHASE 9
STRATA PLAN LMS 921
.....

STRATA PLAN LMS921
PHASE 1

STRATA PLAN LMS921
PHASE 8

PHASE BOUNDARY

LOT 121
PLAN 60067

'B'
↑

'A'
↑

'B'
↑

'A'
↑

PHASE BOUNDARY

PHASE BOUNDARY

STATUTORY RIGHT OF WAY EX-PLAN BCP14983

STATUTORY RIGHT OF WAY EX-PLAN BCP27337

STRATA PLAN LMS921
PHASE 6

STRATA PLAN LMS921
PHASE 7

REM. LOT 1
PLAN 85069

STRATA PLAN LMS921
PHASE 9

STRATA PLAN LMS1459

STRATA PLAN NW1702

149th Street

M.S. , B.C.L.S.
APRIL 1st, 2007

FILE: 2588-6
DWG.: 2153

ORIGINAL

STRATA PLAN OF PART OF LOT 1,
EXCEPT: PHASES 1 TO 9 STRATA PLAN LMS921,
SECTION 29, BLOCK 5 NORTH, RANGE 1 WEST,
NEW WESTMINSTER DISTRICT, PLAN 85069.

PHASE 10
STRATA PLAN LMS 921

"THE CITY OF SURREY"
B.C.G.S. 92G.016

DEPOSITED IN THE LAND TITLE OFFICE AT
NEW WESTMINSTER, BRITISH COLUMBIA.
THIS 4th DAY OF OCTOBER, 2007

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT

J. MacDonald /ps
DEPUTY REGISTRAR

"GUILDFORD PARK PLACE"
CIVIC ADDRESS:

BB124976 - BB124989

14855 - 100th Avenue
SURREY, B.C.

FORM "P"
FILING No.: BB392837

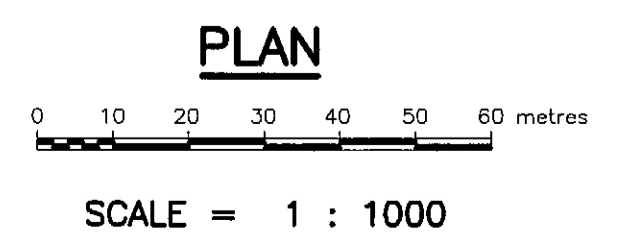
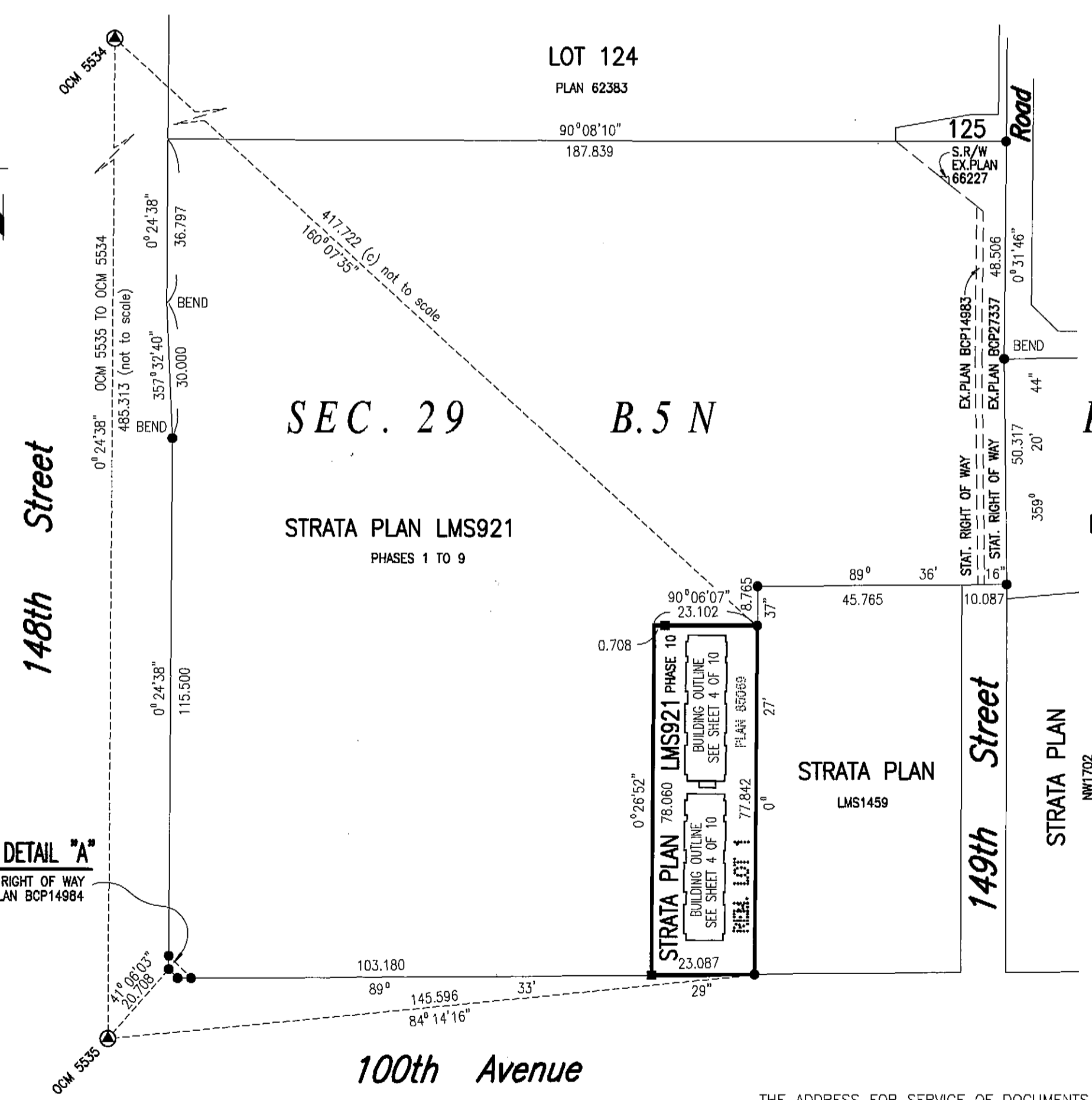
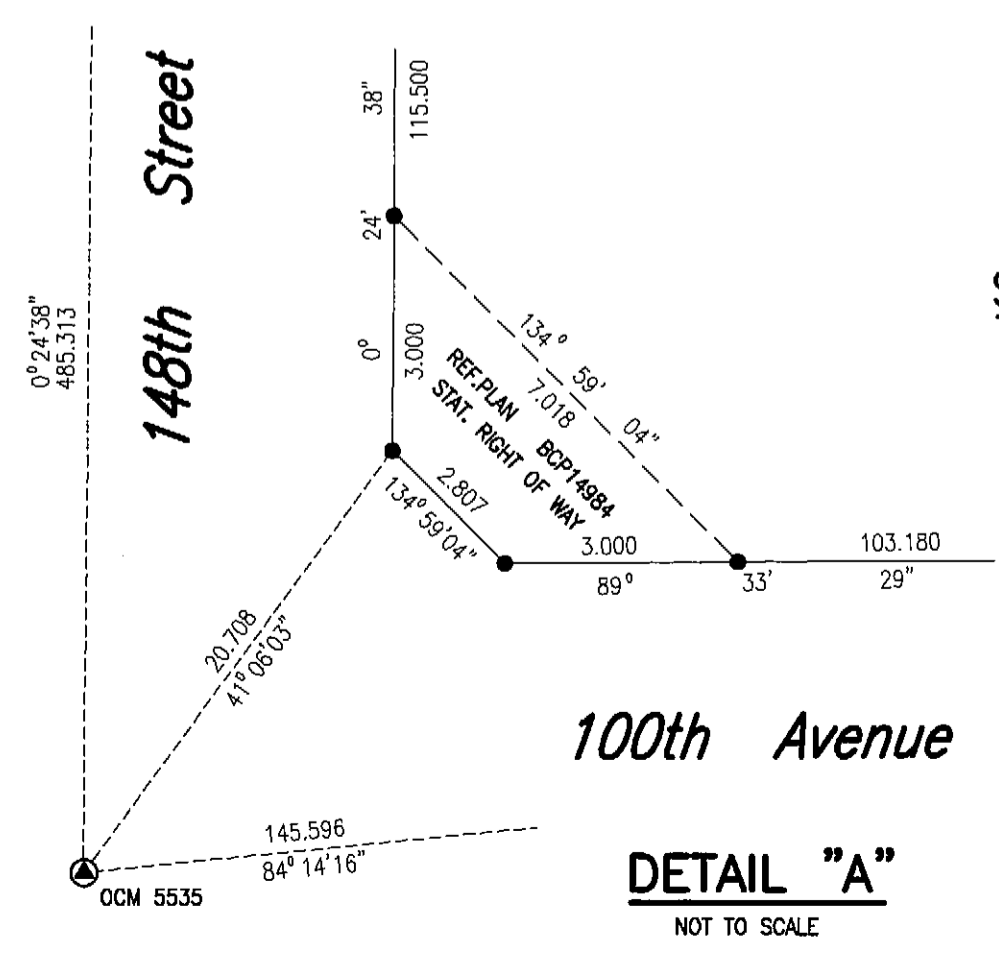
LEGEND:

- ▲ INDICATES CONTROL MONUMENT FOUND
- INDICATES STANDARD IRON POST FOUND
- INDICATES LEAD PLUG FOUND
- INDICATES STANDARD IRON POST PLACED
- INDICATES LEAD PLUG PLACED
- m² INDICATES SQUARE METRES
- c INDICATES CALCULATED
- S.L. INDICATES STRATA LOT
- L.C.P. INDICATES LIMITED COMMON PROPERTY
- PT. INDICATES PART
- ⊙ INDICATES COMMON PROPERTY
- ⊕ INDICATES COMMON FACILITY
- ⊖ INDICATES GARAGE
- ⊗ INDICATES WALKWAY
- ⊘ INDICATES YARD
- ⊙ INDICATES CONCRETE PAD
- ⊕ INDICATES DRIVEWAY
- ⊖ INDICATES STAIRS
- ⊗ INDICATES DECK

NOTES:

- ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE INDICATED.
- GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN CONTROL MONUMENTS 5534 AND 5535, NAD 83 (CSRS).
- THIS PLAN SHOWS GROUND LEVEL MEASURED DISTANCES. PRIOR TO COMPUTATION OF U.T.M. COORDINATES, MULTIPLY BY COMBINED FACTOR 0.99958955.

INTEGRATED SURVEY AREA No. 1, CITY OF SURREY.



I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR OF DELTA IN BRITISH COLUMBIA CERTIFY THAT I WAS PRESENT AT AND PERSONALLY SUPERINTENDED THE SURVEY REPRESENTED BY THIS PLAN AND THAT THE SURVEY AND PLAN ARE CORRECT. THE FIELD SURVEY WAS COMPLETED ON THE 10th DAY OF AUGUST, 2007. THE PLAN WAS COMPLETED AND CHECKED, AND THE CHECKLIST FILED UNDER ECP # 69154, ON THE 18th DAY OF AUGUST, 2007.

M. Schulze
MARTIN HANS SCHULZE, B.C.L.S.

THE ADDRESS FOR SERVICE OF DOCUMENTS ON THE STRATA CORPORATION IS:

THE OWNERS, STRATA PLAN LMS921
c/o CLARK, WILSON, BARRISTERS & SOLICITORS
800 - 885 WEST GEORGIA STREET
VANCOUVER, B.C., CANADA
V6C 3H1

SCHULZE & ASSOCIATES
LEGAL AND ENGINEERING SURVEYS
P.O. Box 19146, 1153 - 56th Street
DELTA, B.C. V4L 2P8
TEL: (604)522-1616 FAX: (604)943-5054
e-mail: schulze@telus.net
FILE: 2588-7 DWG: 2173 REV: 0

PHASE 10
STRATA PLAN LMS 921
.....


SIGNATURES

OWNER/DEVELOPER

GUILDFORD PARK ENTERPRISES LTD.
(INCORPORATION No. 348458)


AUTHORIZED SIGNATORY
Allen Lai

AUTHORIZED SIGNATORY

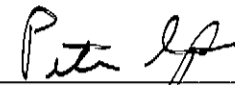

WITNESS AS TO ABOVE SIGNATURES Jane Glanville
800-885 West Georgia Street
Vancouver, BC V6C 3H1

ADDRESS OF WITNESS

Lawyer
OCCUPATION OF WITNESS

ACCEPTED AS TO FORMS 1 AND 2

THIS 7TH DAY OF SEPTEMBER, 2007


FOR SUPERINTENDENT OF REAL ESTATE

APPROVED AS TO PHASE 10 OF A 10 PHASE STRATA PLAN
UNDER THE CONDOMINIUM ACT.

THIS 1ST DAY OF October, 2007.



APPROVING OFFICER
CITY OF SURREY

STATUTORY DECLARATION

I, THE UNDERSIGNED DO SOLEMNLY DECLARE THAT
1) I, THE UNDERSIGNED AM THE DULY AUTHORIZED
AGENT OF THE OWNER/DEVELOPER.
2) THE STRATA PLAN IS ENTIRELY FOR RESIDENTIAL USE.
I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY
BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF
THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.


Allen Lai

DECLARED BEFORE ME AT
IN THE PROVINCE OF BRITISH COLUMBIA
THIS 27 DAY OF August, 2007.



A COMMISSIONER FOR TAKING AFFIDAVITS
WITHIN THE PROVINCE OF BRITISH COLUMBIA
Jane Glanville
800-885 West Georgia Street
Vancouver BC V6C 3H1

I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR
CERTIFY THAT THE BUILDINGS INCLUDED IN THIS STRATA PLAN
HAVE NOT, AS OF AUGUST 18, 2007 BEEN PREVIOUSLY OCCUPIED.


B.C.L.S.

I, MARTIN H. SCHULZE, A BRITISH COLUMBIA LAND SURVEYOR
CERTIFY THAT THE BUILDINGS SHOWN ON THIS STRATA PLAN ARE
WITHIN THE EXTERNAL BOUNDARIES OF THE LAND THAT IS THE
SUBJECT OF THE STRATA PLAN.
DATE: AUGUST 18, 2007.


B.C.L.S.


B.C.L.S.
AUGUST 18th, 2007

FILE: 2588-7

DWG: 2173

CONDOMINIUM ACT

PHASE 10
STRATA PLAN LMS 921
.....

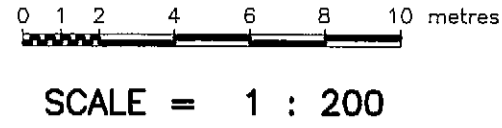
STRATA LOT No.	UNIT No. (ADDRESS)	SHEET No.	FORM 1	FORM 2	FORM 3
			SCHEDULE OF UNIT ENTITLEMENT	SCHEDULE OF INTEREST UPON DESTRUCTION	SCHEDULE OF VOTING RIGHTS
			UNIT ENTITLEMENT	INTEREST UPON DESTRUCTION	NUMBER OF VOTES
411	51	5,6,7,8,9	1,108	1,924	1
412	52	5,6,7,8,9	1,107	1,834	1
413	53	5,6,7,8,9	1,109	1,834	1
414	54	5,6,7,8,9	1,103	1,834	1
415	55	5,6,7,8,9	1,107	1,834	1
416	56	5,6,7,8,9	1,106	1,834	1
417	57	5,6,7,8,9	1,105	1,924	1
418	58	5,6,7,8,9	1,107	1,924	1
419	59	5,6,7,8,9	1,105	1,834	1
420	60	5,6,7,8,9	1,106	1,834	1
421	61	5,6,7,8,9	1,106	1,834	1
422	62	5,6,7,8,9	1,108	1,834	1
423	63	5,6,7,8,9	1,108	1,834	1
424	64	5,6,7,8,9	1,106	1,924	1
PHASE 10 AGGREGATE			15,491	26,036	14
PHASE 1 AGGREGATE			174,386	276,397	165
PHASE 2 AGGREGATE			16,619	28,040	15
PHASE 3 AGGREGATE			12,222	20,370	11
PHASE 4 AGGREGATE			15,950	27,120	11
PHASE 5 AGGREGATE			32,774	58,762	48
PHASE 6 AGGREGATE			36,397	67,629	52
PHASE 7 AGGREGATE			18,859	28,180	13
PHASE 8 AGGREGATE			37,341	85,150	36
PHASE 9 AGGREGATE			55,557	114,997	59
SUM OF AGGREGATES PHASES 1 TO 10			415,596	732,681	424

NLS.
....., B.C.L.S.
SEPTEMBER 5th, 2007

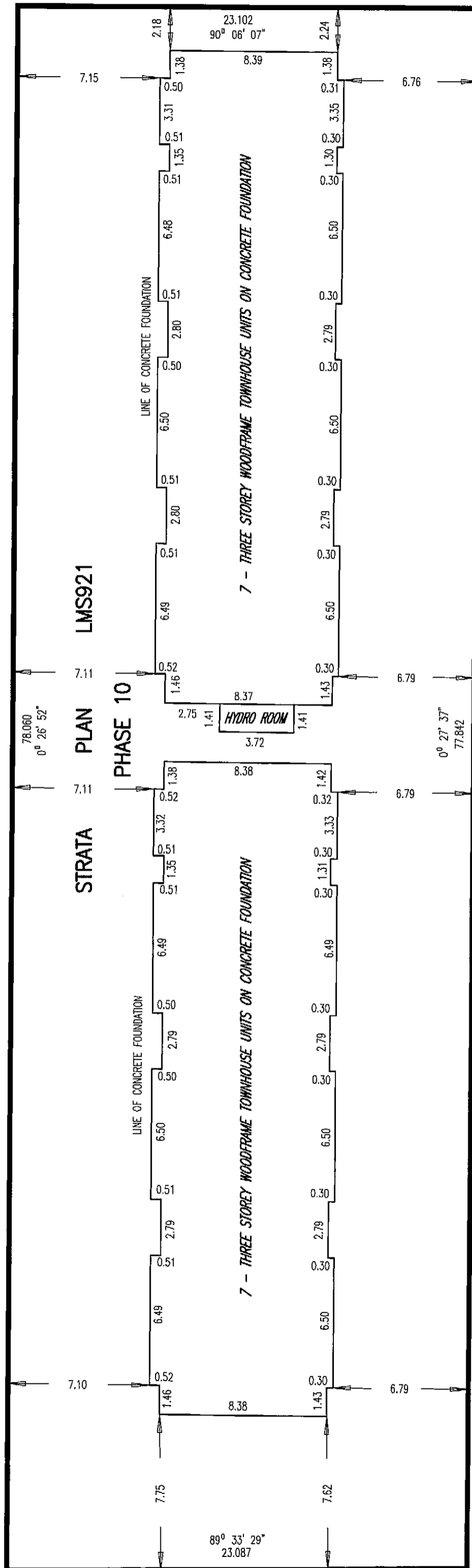
FILE: 2588-7
DWG.: 2173, rev. 1

ORIGINAL

BUILDING LOCATION AND DIMENSIONS



STRATA PLAN LMS921
PHASES 1 TO 9



PHASE 10 STRATA PLAN LMS 921

STRATA PLAN
LMS1459

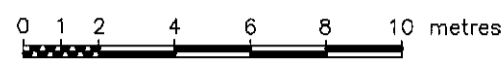
100th Avenue

M/S
....., B.C.L.S.
AUGUST 18th, 2007
FILE: 2588-7
DWG.: 2173

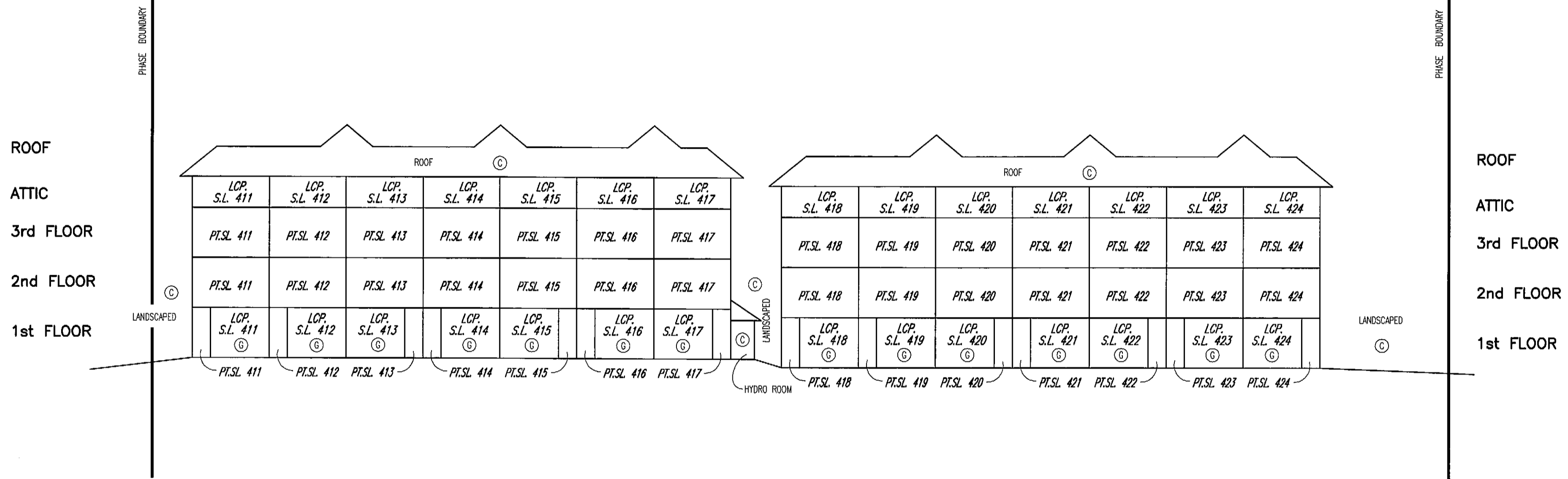
ORIGINAL

PHASE 10
STRATA PLAN LMS 921
.....

SECTION 'A'-'A'



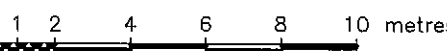
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VERTICAL NOT TO SCALE



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....., B.C.L.S.
AUGUST 18th, 2007
FILE: 2588-7
DWG.: 2173

Original

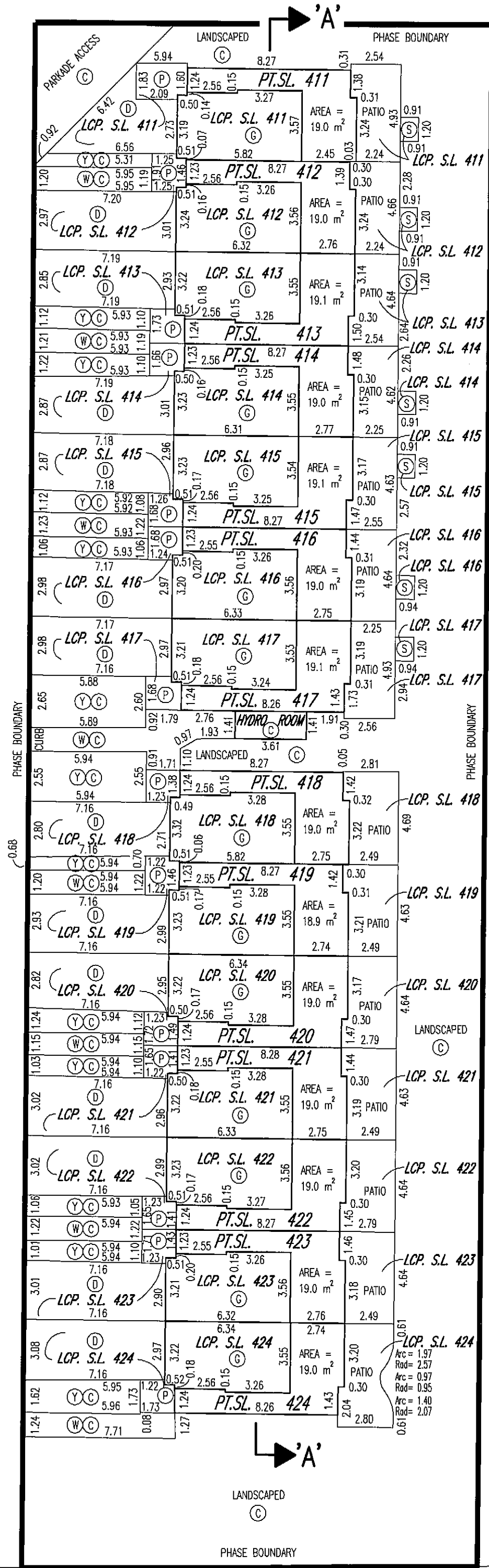
1st FLOOR



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STRATA PLAN LMS921
PHASES 1 TO 9



STRATA PLAN
LMS1459

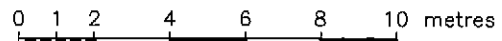
**PHASE 10
STRATA PLAN LMS 921**
.....

100th Avenue

AMS.
....., B.C.L.S.
AUGUST 18th, 2007
FILE: 2588-7
DWG.: 2173

ORIGINAL

2nd FLOOR

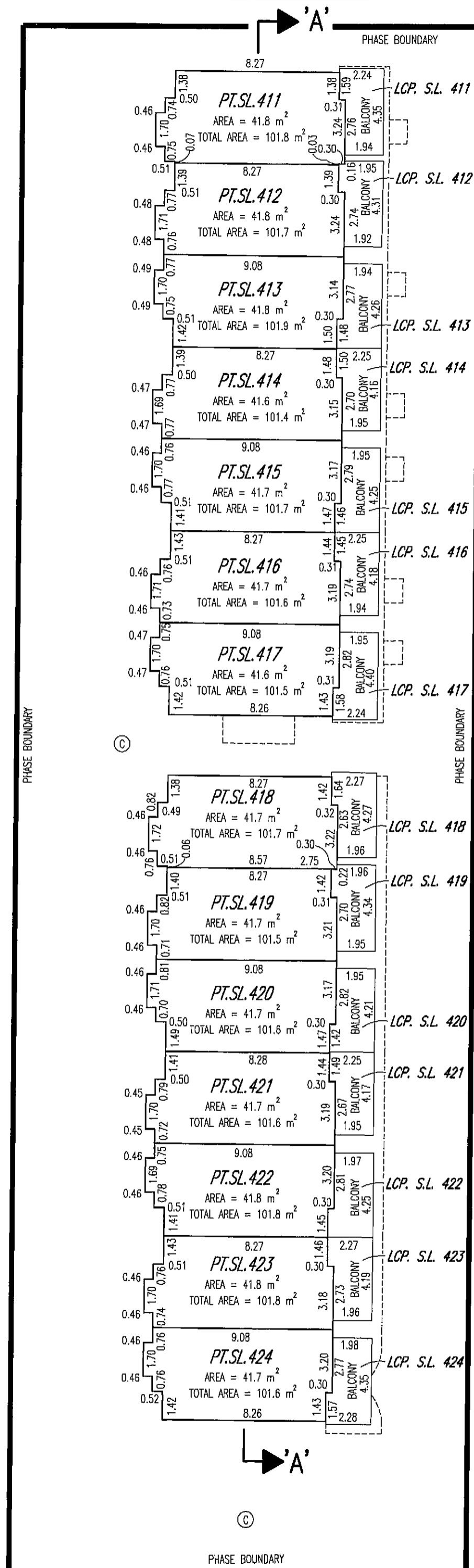


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PHASE 10 STRATA PLAN LMS 921

STRATA PLAN LMS921 PHASES 1 TO 9

STRATA PLAN LMS1459



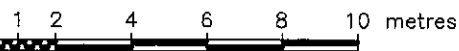
NHS
....., B.C.L.S.
AUGUST 18th, 2007

FILE: 2588-7
DWG.: 2173

100th Avenue

ORIGINAL

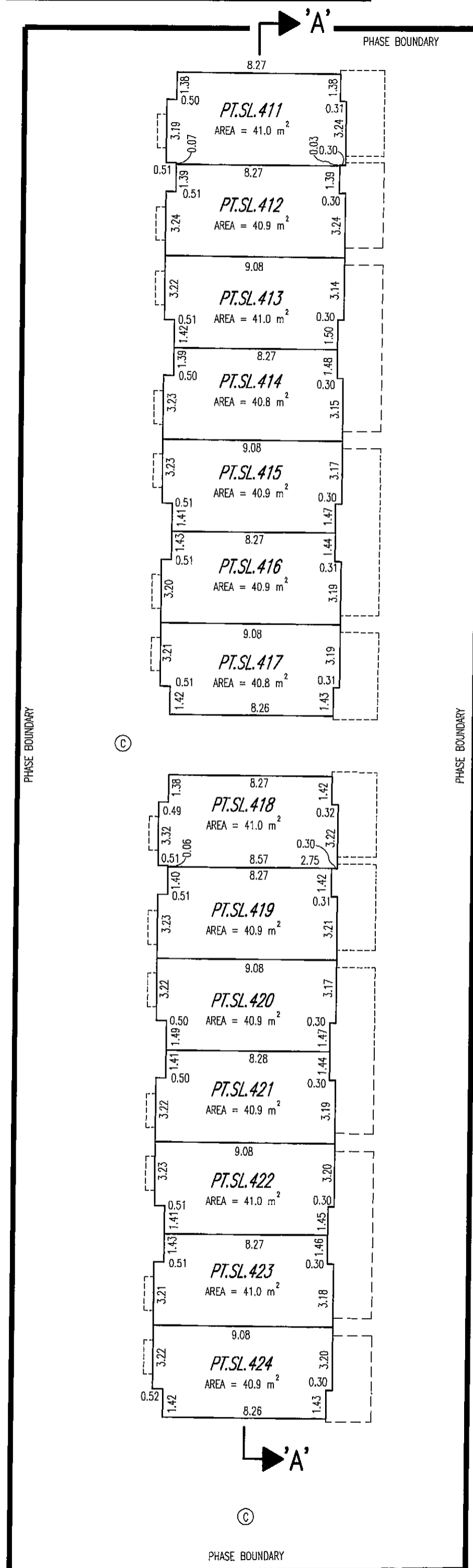
3rd FLOOR



SCALE = 1 : 200



STRATA PLAN LMS921
PHASES 1 TO 9



PHASE 10
STRATA PLAN LMS 921
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STRATA PLAN
LMS1459

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AUGUST 18th, 2007

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DWG.: 2173

100th Avenue

ORIGINAL

ATTIC

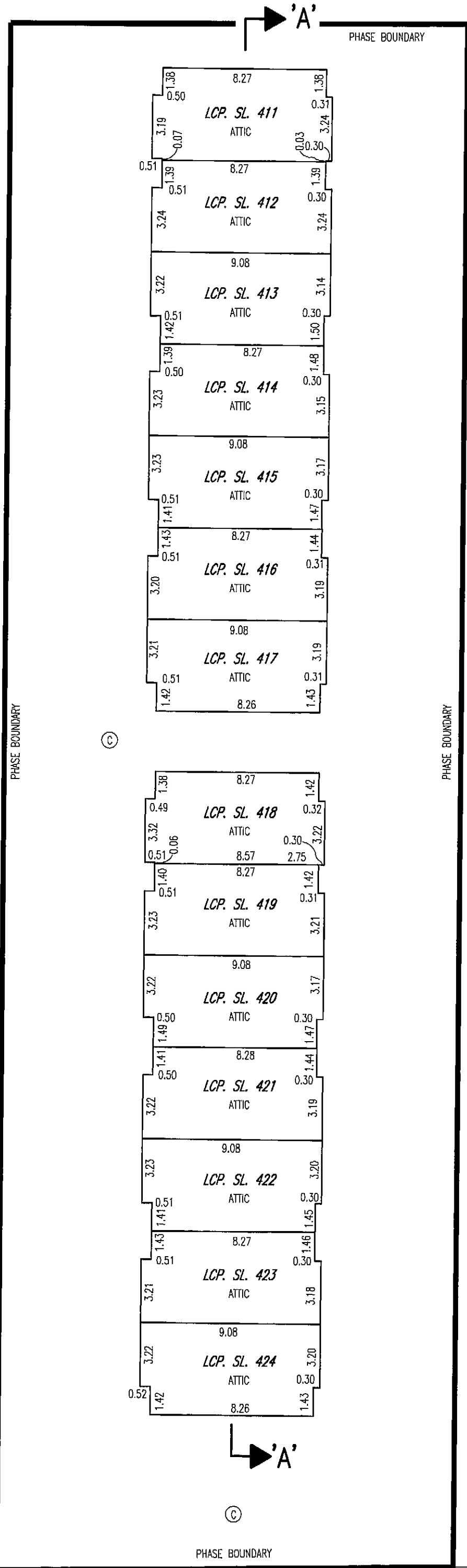


SCALE = 1 : 200



STRATA PLAN LMS921

PHASES 1 TO 9



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PHASE BOUNDARY

PHASE 10
STRATA PLAN

LMS 921
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STRATA PLAN

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NLS.

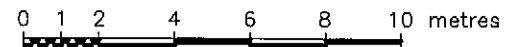
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AUGUST 18th, 2007

FILE: 2588-7

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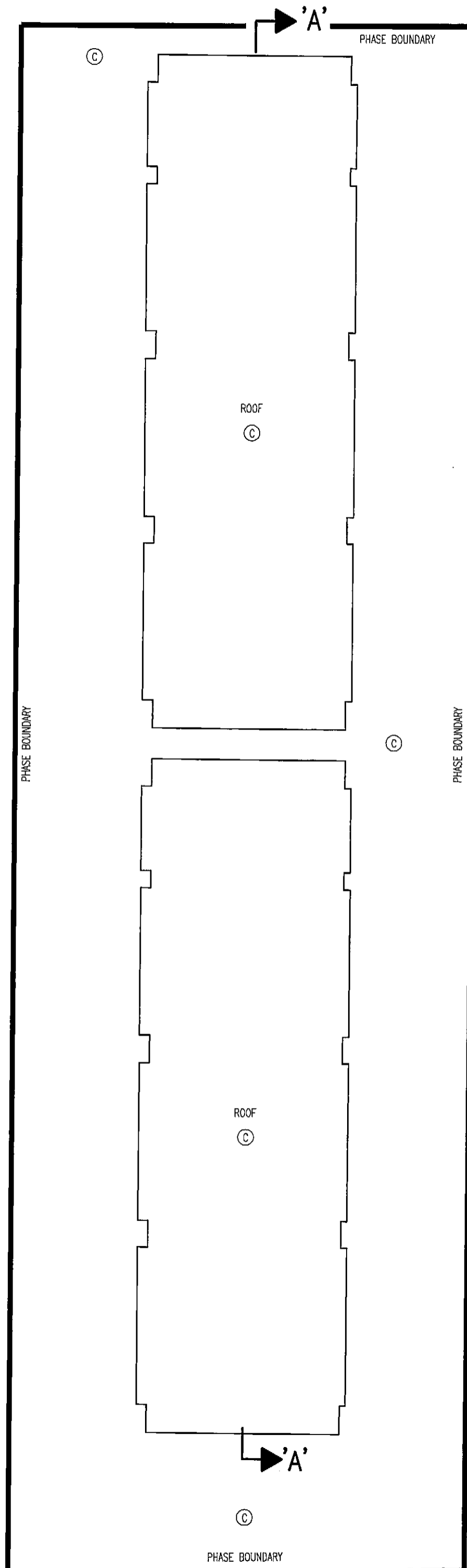
ROOF



SCALE = 1 : 200



STRATA PLAN LMS921
PHASES 1 TO 9



PHASE 10
STRATA PLAN LMS 921
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STRATA PLAN
LMS1459

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AUGUST 18th, 2007

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